

# DESIGN COMPLIANCE REVIEW

## ACCESS

### 11-17 Columbia Lane Homebush

**Report Prepared for:** JQZ Group Pty Ltd.  
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**Our Ref:** AN19-213033  
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## DOCUMENT ACCEPTANCE

	Name	Signed	Date
Prepared by	Douglas Melloh <i>Senior Access Consultant</i> <i>ACAA Accredited Member 217</i>		9th August 2019

## REVISION HISTORY

Revision No.	Prepared by	Description	Date
00	Douglas Melloh	For Review	9th August 2019

This report has been prepared based on the available time allocated to conduct the review, and all reasonable attempts have been made to identify key compliance matters pursuant to the BCA and additional issues which have been deemed an impediment to access provision and may increase Client risk of attracting a complaint under the DDA.

The information provided within this report is relevant to this project and the documentation referenced. As such the information provided may not be transferred to other projects. This report must not be issued for public comment or be used for any other purpose without prior permission from Philip Chun Accessibility.

Philip Chun Accessibility accepts no responsibility for any loss suffered as a result of any reliance upon such assessment or report other than providing guidance to alleviate access barriers in the built environment and reduce Client risk of attracting a complaint under the DDA.



## 1. INTRODUCTION

This report has been prepared to review of the proposed development documentation against the various access requirements that apply to this type of development to the extent necessary to issue a Development Application under the NSW Environmental Planning and Assessment Act 1997.

Access requirements considered in this report are found in a range of legislation, planning instruments and standards pertaining to access for people with a disability, these include but are not limited to:

- the National Construction Code (BCA 2019),
- Disability (Access to Premises–Buildings) Standards 2010 (Premises Standards),
- relevant Australian Standards,
- the Disability Discrimination Act 1992 (*Cth*) (DDA).

This report has been prepared by Philip Chun Accessibility with the aim of also providing reasonable recommendations in regards to access to premises requirements. Philip Chun Accessibility has endeavoured to clearly identify each issue of concern with respect to the building element and with reference to relevant legislation and guidelines.

Matters that fall outside the scope of this report include, Safety in Design considerations, construction or installation approaches and assessment against Occupational Health and Safety legislation requirements.

### 2.1 Site and Contexts

The site is located at 11-17 Columbia Lane, Homebush NSW 2140

The project consists of mixed used development.

The apartment/unit mix are as follows:

129 x 1-bed = 32%

237 x 2-bed = 60%

31 x 3-bed = 8%

397 units in total

### 2.2 Reviewed Documentation

This report is based upon the following design documents.

Document No	Title	Revision
AP04	Basement 3 & 4	P27
AP05	Basement 2	P27
AP06	Basement 1	P27
AP07	Ground Floor	P28
AP08	Level 1	P27
AP09	Level 2-6	P27
AP10	Level 7	P27
AP11	Level 8	P26





AP12	Level 9-12	P26
AP13	Level 13	P26
AP14	Level 14-16	P26
AP15	Level 17	P26
AP16	Level 18-21	P26
AP17	Level 22	P26
AP18	Level 23	P26
AP19	Level 24	P26
AP20	Level 25	P26
AP29	Adaptable and Living Units	P25

## 2.3 Methodology

Philip Chun Accessibility aims to provide achievable recommendations related to the provision of access to premises based on current legislation and 'best practice' options, enabling independent, equitable and functional access for all.

Access requirements for people with a disability have been assessed against the provisions of the BCA-2019 and the Premises Standards 2010. Any assessment against Australian Standards such as AS1428.1-2009, where not specifically referenced in the BCA or the Premises Standards, will be provided as recommendations. Any such access recommendations shall be noted as 'best practice' options within this report.

Accessibility is paramount in providing an inclusive environment for all users. Phillip Chun Accessibility looks beyond basic compliance issues to ensure that all users are offered the opportunity to participate in society. We incorporate the principles of Universal Design into all of our work, taking a holistic approach in the provision of access for people with disabilities.

## 2. LEGISLATION

### 2.1 National Construction Code / The Building Code of Australia

The National Construction Code (NCC) comprises the Building Code of Australia (BCA) and the Plumbing Code of Australia (PCA). NCC is all encompassing and contains Volumes One, Two and Three; (The Guide); and the NCC 2019 Consolidated Performance Requirements.

- **Volume One** contains the requirements for Class 2 to 9 (multi-residential, commercial, industrial and public) buildings and structures (BCA).
- **Volume Two** contains the requirements for Class 1 (residential) and Class 10 (non-habitable) buildings and structures.
- **Volume Three** contains the requirements for plumbing and drainage for all classes of buildings.
- **The Guide** is a companion manual to Volume One. The Guide provides clarification, illustration and examples for complex NCC provisions.



- **Consolidated Performance Requirements** provides a compilation of all NCC Performance Requirements and the supporting General Requirements in a single document.

The Access needs of this report have been assessed based on the new work having a primary BCA classification of Class 3, as advised by the relevant Building Surveyor.

## 2.2 Part D3 - General Building Access Requirements

Part D3 of the BCA and Premises Standards prescribes the minimum requirement for access to a building. Access for people with disabilities is required through the principal pedestrian entrance and throughout the building in accordance with Table D3.1. The following table outlines the general building access requirements for this project:

Class of building	Access requirements
<b>Class 2</b>	
Common areas	<p>From a pedestrian entrance <i>required</i> to be accessible to at least one floor containing <i>sole-occupancy units</i> and to the entrance doorway of each <i>sole-occupancy unit</i> located on that level.</p> <p>To and within not less than one of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, <i>swimming pool</i>, common laundry, games room, individual shop, eating area, or the like.</p> <p>Where a ramp complying with AS 1428.1 or a passenger lift is installed-</p> <ul style="list-style-type: none"><li>(a) to the entrance doorway of each sole-occupancy unit; and</li><li>(b) to and within rooms or spaces for use in common by the residents,</li></ul> <p>located on the levels served by the lift or ramp.</p>

## 3.2 Disability Discrimination Act 1992 (Cth) (DDA)

The DDA implements Australia's international human rights obligations under the Convention on the Rights of Persons with Disabilities as well as obligations relating to non-discrimination under other treaties, including the International Covenant on Civil and Political Rights.

The Disability Discrimination Act 1992 (Cth) has a section that addresses access requirements for '*buildings*', under Section 23, which relates to access to premises and facilities which the public may enter or use.

There is also a mechanism within the DDA to create specific Disability Standards. These Standards provided more details and certainty in specific areas.

The following Standards have been made under the DDA:

Disability Standards for Accessible - Public Transport 2002  
Disability Standards for Education 2005  
Disability (**Access to Premises** –Buildings) Standards 2010.

The DDA is enforced primarily through a complaints mechanism, which allows individuals who have directly or indirectly experienced unlawful discrimination to seek a conciliated outcome through the Australian Human Rights Commission and, in the instance of unsuccessful conciliation, to bring an action in the Federal Magistrates Court or the Federal Court of Australia.



### 3.3 Access to Premises Standards 2010 – General

The purpose of the Premises Standards (and corresponding changes to the Building Code of Australia and state and territory building law) is:

- to ensure that dignified, equitable, cost-effective and reasonably achievable access to buildings, and facilities and services within buildings, is provided for people with disability, and
- to give certainty to building certifiers, developers and managers that if the Standards are complied with they cannot be subject to a successful complaint under the DDA in relation to those matters covered by the Premises Standards.

The introduction of the Premises Standards will lead to widespread and important improvements in the accessibility and safety of all new and upgraded public buildings in Australia.

It is noted that the Premises Standards 2010 are limited in scope, covering aspects of building compliance applicable under the BCA. As such, there are features which fall beyond the scope of the Standards which may be subject to the general complaints provisions of the DDA.

Consequently there are opportunities for Philip Chun Access to assess access against compliance parameters and Client requirements to determine an alternative design solution or suitable management plan which will ensure access for all is not compromised. Any alternative solutions which do not meet the deemed to satisfy provisions of the BCA are subject to approval from the relevant Building Surveyor and may require issue of expert judgement based on Clause A 0.9 (d) of the BCA. Any determinations will be made at the request of the Client and will not absolve the Client or owner of the requirements pursuant of the Disability Discrimination Act 1992 (*Cth*).

Refer Appendix C for full details:



### 3. BUILDING CODE OF AUSTRALIA - ACCESSIBILITY

The table below is an assessment of the proposed works against the relevant applicable DtS provisions of the BCA and Premises Standard Access Code. Each line item provides a summary description of the DtS provision and comments on the status of compliance. A summary of key issues is included on drawings in Appendix A. This table must be read in conjunction with BCA and Premises Standard Access Code.

No	BCA Requirements	Status of Compliance	Discussion
<b>Access and Facilities for People with Disabilities – Sections D, E, and F</b>			
1.	<p>D3.1 General building access requirements Section D3 requires suitable access be provided to and within all areas of the building normally used by the occupants.</p> <p>Note accessibility requirements within the BCA that apply to this building include:</p> <ul style="list-style-type: none"><li>• D3 for general access for people with a disability.</li><li>• E3.6 and Table E3.6 for accessibility design to passenger lifts.</li><li>• F2.4 for accessibility design to sanitary facilities.</li></ul> <p>Note: the Disability (Access to Premises – Buildings) Standards 2010 (Premises Standards) need to be considered. These are generally in keeping with BCA requirements unless otherwise stated.</p>	<b>Note only</b>	
<b>D3.2 Access to Buildings</b>			
1.	Access from the Allotment Boundary The BCA requires that a continuous accessible path of travel be provided from the allotment boundary at the main points of pedestrian entry to the main entrance.	<b>Can Comply</b>	Complies in Principle – additional detailed information will be required at construction stage to confirm.
2.	Access from the Accessible Carparking The BCA requires a continuous accessible path of travel be provided from the accessible carparking areas to the main entrance. Design of access to building should comply with requirements of AS 1428.1. This should include but be not limited to <ul style="list-style-type: none"><li>• Site levels/Gradients/Crossfalls</li><li>• Widths</li><li>• Materials including slip resistance properties</li><li>• Location of drainage points along accessways</li><li>• Threshold ramps at pedestrian entrances, kerb ramps, ramps, handrails etc as applicable.</li></ul>	<b>Can Comply</b>	



No	BCA Requirements	Status of Compliance	Discussion
3.	<p>Access Between Buildings on Site The BCA requires a continuous accessible path of travel be provided between associated accessible buildings.</p> <p>Design of access to building should comply with requirements of AS 1428.1. This should include but be not limited to</p> <ul style="list-style-type: none"> <li>• Site levels/Gradients/Crossfalls</li> <li>• Widths</li> <li>• Materials including slip resistance properties</li> <li>• Location of drainage points along accessways</li> <li>• Threshold ramps at pedestrian entrances, kerb ramps, ramps, handrails etc as applicable.</li> <li>•</li> </ul>	<b>Not applicable</b>	
4.	<p>Building Entrances</p> <p>The BCA requires a continuous, accessible path of travel to be provided through the principal pedestrian entrance and not less than 50% of all pedestrian entrances, except for pedestrian entrances serving only areas exempted by D3.4.</p> <p>As the total floor area of the building exceeds 500m<sup>2</sup>, the distance of travel between accessible and inaccessible entrances must not exceed 50m.</p>	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.
<b>D3.3 Parts of Buildings to be Accessible</b>			
	In a building required to be accessible -		
1.	<p>every ramp and stairway, except for ramps and stairways in areas exempted by D3.4, must comply with—</p> <p>(i), for a <b>ramp</b>, except a fire-isolated ramp, clause 10 of AS 1428.1; and</p> <p>(ii) for a <b>stairway</b>, except a fire-isolated stairway, clause 11 of AS 1428.1; and</p> <p>(iii) for a <b>fire-isolated stairway</b>, clause 11.1(f) and (g) of AS 1428.1; and</p>	<b>Can Comply</b>	<p>Refer to AS1428.1-2009 for further clarification of the design for stairs including, Setbacks, opaque risers, nosing's, TGSI's, handrail details and handrail extensions.</p> <p>Additional information will be required at Construction Stage to confirm compliance.</p>
2.	every passenger lift must comply with E3.6; and	<b>Can Comply</b>	Compliance Certificate to be supplied by manufacture.





No	BCA Requirements	Status of Compliance	Discussion
3.	<p>accessways must have—</p> <p>(i) <b>passing spaces</b> complying with AS 1428.1 at maximum 20 m intervals on those parts of an accessway where a direct line of sight is not available; and</p> <p>(ii) <b>turning spaces</b> complying with AS 1428.1—</p> <p>(A) within 2 m of the end of accessways where it is not possible to continue travelling along the accessway; and</p> <p>(B) at maximum 20 m intervals along the accessway; and</p>	<b>Can Comply</b>	<p><i>Passing spaces with a minimum width of 1800mm and minimum length of 2000mm to be provided in corridors at maximum 20m intervals where a direct line of sight is not available</i></p> <p><i>Turning spaces of minimum 1540mm width and minimum 2070mm length to be provided within 2m of the end of corridors and at maximum 20m intervals.</i></p> <p><i>Increased landings are required at changes of direction, including 1500mm X 1500mm turning spaces to facilitate a 60-90 degree turn.</i></p>
4.	an intersection of accessways satisfies the spatial requirements for a passing and turning space; and	<b>Note</b>	
5.	a passing space may serve as a turning space; and	<b>Note</b>	
6.	<p>clause 7.4.1(a) of AS 1428.1 does not apply and is replaced with 'the pile height or pile thickness shall not exceed 11 mm and the carpet backing thickness shall not exceed 4 mm'; and</p> <p>the carpet pile height or pile thickness dimension, carpet backing thickness dimension and their combined dimension shown in Figure 8 of AS 1428.1 do not apply and are replaced with 11 mm, 4 mm and 15 mm respectively.</p>	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance if applicable.
<b>D3.4 Exemptions</b>			
1.	<p>The following areas are not required to be accessible:</p> <p><b>a)</b> An area where access would be inappropriate because of the particular purpose for which the area is used.</p> <p><b>b)</b> An area that would pose a health or safety risk for people with a disability.</p> <p><b>c)</b> Any path of travel providing access only to an area exempted by (a) or (b).</p>	<b>Note</b>	<p>The following areas have been deemed as Exempt due to the use or function;</p> <ol style="list-style-type: none"> <li>1. Cleaning rooms</li> <li>2. Plant areas</li> <li>3. Service areas</li> <li>4. Garbage rooms</li> </ol>



No	BCA Requirements	Status of Compliance	Discussion
<b>D3.5 Accessible carparking</b>			
1.	<p>The accessible carparking space and associated circulation spaces should be dimensioned on the drawings to demonstrate compliance with AS/NZS 2890.6. Accessible Carparking spaces to comply with AS/NZS2890.6. This being:</p> <ul style="list-style-type: none"><li>• Designated parking space with minimum dimensions of 5400mm (l) X 2400mm (w);</li><li>• Shared space with minimum dimensions of 5400mm (l) X 2400mm (w); and</li><li>• Bollards to be provided</li><li>• Crossfall to me maximum 1:40 in all directions (1:33 for bitumen surfaces)</li></ul>	<b>Can Comply</b>	<p>Accessible visitor carparking can satisfy the requirements of this Clause.</p>
<b>D3.6 Signage</b>			
1.	<p>Braille and tactile signage is required to be provided throughout any building required to be made accessible in accordance with BCA specification D3.6 and AS1428.1 (2009) and must identify:</p> <ul style="list-style-type: none"><li>• Each sanitary facility</li><li>• Accessible unisex facilities and indicate whether the facility is suitable for left or right handed use</li><li>• Ambulant accessible sanitary facilities on the door of the cubicle</li><li>• Where an entrance is not accessible, directional signage to identify nearest accessible entrance</li><li>• Where a bank of sanitary facilities is not provided with an accessible sanitary facility, directional signage to identify nearest accessible sanitary facility.</li><li>• Each door required by Part E4.5 to be provided with an exit sign and state "Exit" and "Level" followed by either the floor level number, the floor descriptor or combination of these.</li></ul>	<b>Can Comply</b>	<p>Additional information will be required at Construction Stage to confirm compliance, to include;</p> <ul style="list-style-type: none"><li>• Drawings detailing signage specifically designed for people with disabilities. Signage package should include typical elevations indicating the location of installation.</li></ul>



No	BCA Requirements	Status of Compliance	Discussion
<b>D3.8 Tactile Indicators</b>			
1.	<p>Tactile ground surface indicators (TGSIs) are required to warn people who have a vision impairment they are approaching a hazardous location, such as</p> <ul style="list-style-type: none"><li>• Stairways (other than fire isolated stairways)</li><li>• Escalator</li><li>• Passenger or moving walk</li><li>• Ramp other than, a fire isolated ramp, step ramp, kerb ramp or swimming pool ramp.</li></ul> <p>In the absence of a suitable barrier</p> <ul style="list-style-type: none"><li>• An overhead obstruction less than 2m above the floor level, other than a doorway; and</li><li>• An accessway meeting a vehicular way adjacent to any pedestrian entrance to a building, excluding a pedestrian entrance serving an area referred to in D3.4, if there is no kerb or kerb ramp at that point.</li></ul> <p><b>Note:</b> tactile ground surface indicators are not required in to areas exempted under Clause D3.4</p>	<b>Can Comply</b>	<p>Refer to AS1428.4.1 for further clarification of the design for colour, luminance contrast, dimensions and locations of the tactile ground surface indicators.</p> <p>Additional information will be required at Construction Stage to confirm compliance.</p>
<b>D3.10 Swimming Pools</b>			
1.	<p>The BCA Part D3.10 requires access for persons with a disability to swimming pools with a total perimeter greater than 40m that are associated with as Class 1b, 2, 3, 5, 6, 7, 8, or 9 building that this required to be accessible (Table D3.1).</p>	<b>Not applicable</b>	
<b>D3.11 Ramps</b>			
1.	<p>On and accessway –</p> <ul style="list-style-type: none"><li>(a) A series of connected ramps must not have a combined vertical rise of more than 3.6m; and</li><li>(b) A landing for a step ramp must not overlap a landing for another step ramp or ramp.</li></ul>	<b>Not applicable</b>	



No	BCA Requirements	Status of Compliance	Discussion
<b>D3.12 Glazing on an Accessway</b>			
1.	<p>On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS1428.1.</p> <p>A <b>solid</b> contrasting line is required.</p> <p>Refer to Clause 6.6 of AS1428.1 for details of:</p> <ul style="list-style-type: none"><li>• Location</li><li>• Height</li><li>• Format and</li><li>• Luminance contrast</li></ul> <p><b>NOTE:</b> In many instances, the frosted type material may not achieve the required luminance contrast.</p>	<b>Can Comply</b>	<p>Additional information will be required at Construction Stage to confirm compliance.</p>
<b>E3.6 Passenger Lifts</b>			
1.	<p>E3.6 has specific requirements for type of lift that can be used.</p> <p>Passenger lifts suitable for people with a disability are provided in Table E3.6a, but each type of lift has some limitations for its use.</p> <p>Each type of lift also requires the provision of accessible features listed in Table E3.6b. Note this includes but is not limited to:</p> <ul style="list-style-type: none"><li>• Handrails</li><li>• Lift car size</li><li>• Door opening width</li><li>• Control buttons</li></ul> <p><b>NOTE:</b> Where a wheelchair user is required to complete a 90 degree turn within a lift car, the lift car must possess internal dimensions of not less than 1500mm x 1500mm, to maintain a continuous accessible path of travel. Refer also to Clause 6.5 of AS 1428.1 (2009).</p>	<b>Can Comply</b>	<p>The building is provided with 6 No passenger lifts.</p> <p>Compliance Certificate to be supplied by manufacture.</p> <p>Confirmation also required to confirm compliance with: <b>E3.2</b> Stretcher facilities in Lifts, and <b>E3.4</b> Emergency Lift requirements</p>



No	BCA Requirements	Status of Compliance	Discussion
<b>F2.4 Sanitary and Other Facilities</b>			
1.	<p>Accessible unisex sanitary compartments must be provided in accessible parts of the building as per Table F2.4 (a).</p> <p>Accessible unisex shower must be provided in accessible parts of the building as per Table F2.4 (b).</p> <p>For this Class 2 building, where sanitary compartments are provided in common areas, the following facilities are required:</p> <ul style="list-style-type: none"><li>• Not less than 1 Accessible unisex Sanitary compartment in common areas.</li><li>• 1 x Accessible unisex shower when showers provided.</li></ul> <p>Note: Common accessible facilities are only required when sanitary facilities are provided.</p>	<b>Can Comply</b>	<p>The building is provided with the following;</p> <p>2 No. accessible sanitary facilities</p> <p>0 No. ambulant facilities</p>
2.	The circulation space, <u>fixtures and fittings</u> of all accessible sanitary facilities must comply with the requirements of AS1428.1-2009.	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.
3.	An accessible unisex sanitary compartment must contain a pan, washbasin, shelf or vanity top, and provision of sanitary towel disposal	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.
4.	A accessible unisex sanitary compartment must not be located where its entry access will cross an area reserved for 1 sex only.	<b>Note</b>	
5.	Where 2 or more accessible unisex sanitary compartments are provided, they must be provided in mirrored types as evenly as possible.	<b>Can Comply</b>	1 No. LH 1 No. RH
6.	where male sanitary facilities are provided at a separate location to female sanitary facilities, accessible unisex sanitary facilities are only required at one of those locations; and	<b>Note</b>	
7.	an accessible unisex sanitary compartment or an accessible unisex shower need not be provided on a storey or level that is not required to have with a passenger lift or ramp.	<b>Note</b>	





No	BCA Requirements	Status of Compliance	Discussion
<b>Part D1 – Provision for Escape</b>			
<b>D1.6 Dimensions of exits and paths of travel to exits</b>			
1.	In a required exit or path of travel to an exit—  (b) the unobstructed width of each exit or path of travel to an exit, except for doorways, must be not less than—  (i) 1 m; or	<b>Can Comply</b>	

No	BCA Requirements	Status of Compliance	Discussion
<b>Part D2 – Construction of Exits</b>			
<b>D2.13 Goings and Risers</b>			
1.	In a stairway – (a) Landing must have a surface with a slip-resistance classification not less than that listed in Table D2.14 <b>or</b> (b) An edge strip with a slip-resistance classification not less than that listed in Table D2.14	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.
<b>D2.14 Landings</b>			
2.	In a stairway – (c) Landing must have a surface with a slip-resistance classification not less than that listed in Table D2.14 <b>or</b> (d) An edge strip with a slip-resistance classification not less than that listed in Table D2.14	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.

**Table D2,14 Slip Resistance Classification**

Application	Surface Conditions	
	Dry (inside)	Wet (outside)
Ramp > than 1:14	P4 or R11	P5 or R12
Ramp > than 1:20 but < 1:14	P3 or R10	P4 or R11
Treads or Landings surface	P3 or R10	P4 or R11
Nosing or Landing edge strip	P3	P4



No	BCA Requirements	Status of Compliance	Discussion
<b>Additional Accessible Features</b>			
3.	<b>30% luminance at doorways</b> Clause 13.1 of AS 1428.1 requires accessible doorways to have a minimum luminance contrast of 30% equivalent to a 50mm band between the door and the door frame or adjacent walls.  Refer to Clause 13.1 of AS1428.1 for further clarification where luminance contrast is required.	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.
4.	<b>Door hardware and fixing heights</b> Door hardware on an accessible path of travel to be located <ul style="list-style-type: none"> <li>Between 900mm and 1100mm above the plane of the finished floor</li> </ul>	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.
5.	<b>Light switches and fixing heights</b> Switches and controls on an accessible path of travel, excluding general purpose outlets to be located <ul style="list-style-type: none"> <li>Between 900mm and 1100mm above the plane of the finished floor</li> <li>Not less than 500mm from internal corners except where installed on the latch side architrave.</li> </ul> It is recommended the specific location of switches be nominated on design documentation.	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.
6.	<b>Door clear opening width</b> Doorways located within a required accessible path of travel for people with a disability must have a clear door opening width of not less than 850mm in accordance with Clause 13.2 of AS 1428.1.  Where a door required to be accessible has more than one door leaf, one of the leaves (the active leaf) to have a clear opening of 850mm.	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.
7.	<b>Door circulation areas</b> Doors required to be accessible to comply with Section 13 of AS 1428.1- 2009  Doorways to be provided with circulation spaces in accordance with Clause 13.3 and relevant approach in Figures 31 and 32.  Note: circulation spaces at doorways must have a gradient and crossfall not steeper than 1 in 40.	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.



No	BCA Requirements	Status of Compliance	Discussion
8.	<p><b>Door Controls</b></p> <p>Doors required to be accessible must be provided with controls and related hardware that fully comply with Clause 13.5 of AS 1428.1 (2009).</p> <p>Door controls must be capable of being unlocked/opened by one hand and prevent the hand of a person who cannot grip from slipping whilst operating the latch.</p> <p>Door handle design should take into consideration the following requirements, including but not limited to:</p> <ul style="list-style-type: none"><li>• Clearance of 35mm to 45mm between handle and back plate.</li><li>• Height between 900mm – 1100mm.</li><li>• Touch controls (security) located 500mm from internal corners.</li></ul>	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.
9.	<p><b>Floor or Ground Surfaces</b></p> <p>The following applies to interior finished and surface materials:</p> <ul style="list-style-type: none"><li>• Slip- resistant</li><li>• surface level difference to surrounding materials not more than 3mm for vertical and 5mm for rounded or bevelled edges.</li><li>• Change of level of no more than 5mm between two differing surfaces</li><li>• grates are to have openings no greater than 13mm in diameter and any slotted openings to be no more than 13mm wide and orientated perpendicular to the dominant direction of travel.</li></ul>	<b>Can Comply</b>	Additional information will be required at Construction Stage to confirm compliance.

**Note:** The above accessible features are implied in the BCA's definition of and 'accessway' being required to comply with AS1428. The BCA removed the requirements for 'Parts of a building required to be accessible with AS1428.1' in 2010. No specific clauses for the above items can be found in the Current BCA (NCC) however they are 'features to enable use by people with a disability'.<sup>1</sup>

---

<sup>1</sup> BCA A1.1 Definitions, Accessible means having features to enable use by people with a disability.



## 4. ADAPTABLE HOUSING PROVISIONS

### GENERAL NOTE – ADAPTABLE HOUSING (AS4299-1995)

**Accessible housing** - Housing with features already in place to facilitate use by a person with a disability or progressive frailty.

**Adaptable housing** – An adaptable house is designed in a way that it can be '*modified easily*' in the future to become accessible.

What are the requirements for '*modified easily*', - Under the principles of adaptable housing '*easily modified*' include all later alterations that can be achieved at minimal inconvenience and minimal cost.

Items that **are considered** easily modified include:

- Kitchens including fixtures and fittings, where sufficient space is provided.
- Bathrooms<sup>2</sup> including fixtures and fittings, where plumbing relocation works are not required.
- Removal of joinery items – wardrobes etc. that is not structural.
- Illumination lighting levels.

Items that **are not considered** easily modified include:

- Accessway to a house entrance, from the boundary and from any carparking area.
- Accessway from an entry, to a living area and to an accessible or visitable toilet.
- Carparking area requirements.
- Letterbox access and location.
- Steps or level changes within the house.
- Entry and internal door clear widths. (850mm clear width\*)
- Circulation area requirements to use entry and internal doors. (Comply with AS1428.1\*)
- Internal corridor widths.
- Main bedroom, living and laundry area requirements
- Door hardware and light switch locations. (1000mm above FFL\*)
- Visitable toilet with 1250mm x 900mm clear space in front of pan.

\* Refer Appendix A – Class C essential features for further details

#### Schedule of Features for Adaptable Housing - Class C

Items applying to adaptable housing to achieve Class C compliance with AS4299 in a **pre-adapted** design includes items 1, 3, 11, 14, **20 Inc.** (22, 23, 24, 25, 27), **32 Inc.** (33, 34), 36, 62, **92** (for a visitable toilet), **98 Inc.** (99, 102, 105, 108), and 110. **92** for a visitable toilet.

Items applying to adaptable housing to achieve Class C compliance with AS4299 in a **post-adapted** design includes items 37, 41, **42 Inc.** (43, 44, 45, 46, 47, 48, 49, 51, 52, 53, 54, 59, 60, 61), **75 Inc.** (76, 77, 78, 79, 80, 82, 83, 86, 88, 90), **92 Inc.** (93, 94, 95, 96), and 100.

AS4299 - Adaptable Housing		
Class C	Compliance	Comment
All essential features incorporated within the design.	<b>CAN COMPLY</b>	Refer Mark up plans for detailed assessment in appendix A

<sup>2</sup> **Note:** While a visitable (and/or an accessible) toilet could be provided in a post-adapted house, it is considered, a visitable toilet, is an essential feature for a pre-adapted house design as Visitability is a Performance Requirement of AS4299 and a visitable toilet is not '*easily modified*' in the context of someone arriving and visiting an adaptable house. Visitors with a disability can therefore approach and enter the house, have access to the living areas and are able to access and use a toilet.



## 5. SEPP 65 - APARTMENT DESIGN GUIDE - NSW

### What is the Apartment Design Guide

The Apartment Design Guide is a resource to improve the planning and design of residential apartment development in NSW.

The Apartment Design Guide is to be used in conjunction with *State Environmental Planning Policy No 65 – Design Quality of Residential Apartment Development* (SEPP 65) which sets out the NSW Government's policy direction for residential apartment development in NSW.

Although this document is a guide, SEPP 65 refers to some parts of the Apartment Design Guide that must be applied when assessing development applications. Objectives, design criteria and design guidance in Parts 3 and 4 of this Apartment Design Guide that are referred to in SEPP 65 will prevail over any inconsistent DCP control. Parts 3 and 4 set out objectives, design criteria and design guidance for the siting, design and amenity of residential apartment development.

### Principle 6: Amenity

Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident well being.

Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas and ease of access for all age groups and degrees of mobility.

## Part 4 – Designing the Building.

### 4Q – Universal Design

#### Objective 4Q-1

Universal design features are included in apartment design to promote flexible housing for all community members

#### Design guidance

- Developments achieve a benchmark of 20% of the total apartments incorporating the **Livable Housing Guideline's silver** level universal design features.

#### Objective 4Q-2

A variety of apartments with adaptable designs are provided

#### Design guidance

**Adaptable housing** should be provided in accordance with the relevant council policy. (LEP)

Design solutions for adaptable apartments include:

- convenient access to communal and public areas
- high level of solar access
- minimal structural change and residential amenity loss when adapted
- **larger car parking spaces for accessibility parking**
- titled separately from apartments or shared car parking arrangements





Livable Housing - Silver Level Design Features		
Design Elements	Silver level requirement	Comment
1. Dwelling Access	(a) Provide a safe, continuous and step free path of travel from the front boundary to the entry of the dwelling. (b) The path above to have a minimum clear width of 1000mm to path of travel. (i) No step (ii) Firm even slip resistant surface (iii) 1:40 max crossfall (iv) 1:14 max pathway slope, (landing to be provided as required in AS1428.1) (c) The path of travel in (a) may be provided via a parking space for the dwelling. (i) Parking space 3200 x 5400 min (v) Firm even slip resistant surface (vi) 1:14 max pathway slope (d) A step ramp may be provided at the entrance doorway. (e) Where a ramp is part of the entry path 1200mm landing are to be provided.	Compliance can be achieved.
2. Dwellings Entrance	(a) The dwelling should have an entrance door with - (i) Min 820mm clear opening (ii) A level step free transition (5mm vertical tolerance) (iii) Shelter from the weather (b) A 1200 x 1200mm landing at the step free entrance door (c) The step free entrance shall be connected to the entry path in element 1.	Compliance can be achieved.
3. Internal Doors and Corridors	(a) Internal doorways should provide- (i) Min 820mm clear opening (ii) A level transition (5mm vertical tolerance allowable.) (b) Internal passageways should provide 1000mm clear width. (Note: clear of skirting's)	Compliance can be achieved.
4. Toilet	(a) The dwelling should have an toilet on the ground level that provides - (i) Min 900mm clear between walls for a separate toilet. (ii) Min 900 x 1200mm clear circulation area forward of the pan excluding door swing. (iii) The pan should be located in the corner of a bathroom to enable installation of grabrails in the future	Compliance can be achieved.
5. Shower	(a) A bathroom should feature a slip-resistance hobless shower recess Shower screens that can be easily remover are permitted. (b) The shower should be located in the corner of the room to enable installation of future grabrails.	Compliance can be achieved.



Livable Housing - Silver Level Design Features		
Design Elements	Silver level requirement	Comment
6. Reinforced Bathroom Walls	(a) The walls around the shower, bath and toilet should be reinforced to provide safe installation of grabrails (b) The reinforcing for a toilet is to be installed as per Fig 6(a) or (b) of the LHA Guidelines. (c) The reinforcing for a bath is to be installed as per Fig 7(a) or (b) of the LHA Guidelines. (d) The reinforcing for a shower is to be installed as per Fig 8(a) or (b) of the LHA Guidelines.	Compliance can be achieved.
7. Internal Stairs	(a) Stairways in a dwelling must feature: (i) a continuous handrail on one side of any stairway where there is a rise of more than 1m.  Note: This requirement is now in the NCC for all homes post 2014.	Compliance can be achieved.
8. Kitchen Space	No Requirements for Silver Level	<b>Not Applicable</b>
9. Laundry Space	No Requirements for Silver Level	<b>Not Applicable</b>
10. Ground level Bedroom Space	No Requirements for Silver Level	<b>Not Applicable</b>
11. Switched and GPO's	No Requirements for Silver Level	<b>Not Applicable</b>
12. Door and Tap hardware	No Requirements for Silver Level	<b>Not Applicable</b>
13. Living Space	No Requirements for Silver Level	<b>Not Applicable</b>
14. Window sills	No Requirements for Silver Level	<b>Not Applicable</b>
15. Flooring	No Requirements for Silver Level	<b>Not Applicable</b>

## SEPP 65 Access requirements

Livable Housing - Silver Level Design Features		
SEPP 65 – Silver Level	Compliance	Comment
20% of the new dwellings are required to achieve Silver Level Compliance	<b>CAN COMPLY</b>	Refer Mark up plans for detailed assessment in appendix A



## 6. CONCLUSION

We have reviewed the documentation available to date and the proposed design against the Building Code of Australia 2019 and Premises Standards. The proposed development addresses the necessary Access requirements for a development application.

It is noted that this documentation is for a Development Application and as such the level of detail for some items may not be resolved. These specific items will require further clarification at the Construction Stage to confirm compliance with the relevant access requirements of the BCA 2019 and Premises Standards.

--



# APPENDIX A

## MARKED PLANS

Circulation space - AS 1428.1 (2009), Clause 6.5  
Ensure 1540mm(W) x 2070mm(L) turning space in corridor or between fixed joinery units is maintained where a direction of travel is more than 2.0 metres in accordance with NCC 2016, Part D3.3(c)(ii)(A) and AS 1428.1(2009), Clause 6.5.3.

- CAN COMPLY -

Clear opening of doorways - AS1428.1 (2009), Clause 13.2  
Minimum clear openings of doorways on a continuous accessible path of travel shall be 850mm in accordance with AS1428.1 (2009), Clause 13.2.

- CAN COMPLY -

Passenger lifts  
BCA Part E3.6:  
- Minimum internal lift car dimensions to be 1400mm(W) x 1600mm(D) if the lift travels more than 12m;  
- Enhanced features are required to meet BCA / Premises Standard Clause E3.6 and AS1735.12 (1999).  
- Compliance Certificate to be provided by manufacture -

Item 14 – Private Car Accommodation  
A continuous accessible path of travel from the street frontage and carparking to the entry of the dwelling to AS1428.1 requirements.  
Carparking space or garage – Area requirements 6,000mm x 3,800mm. (5,400 x 3,800mm permissible)  
- CAN COMPLY –

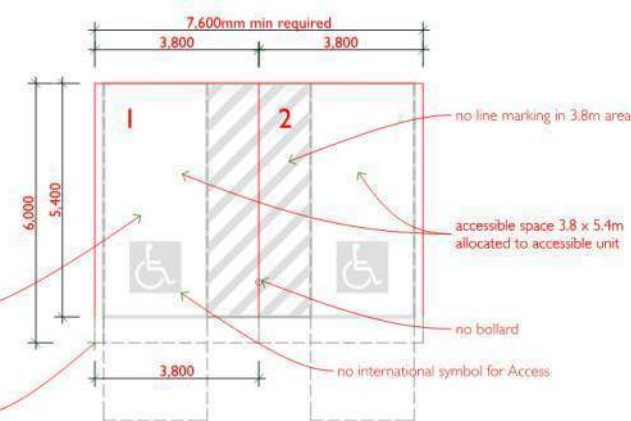
Details of final column widths for adaptable spaces required.

### Adaptable Parking

#### DTS

2 Adaptable parking spaces  
AS 4299-1995  
Compliance

adaptable 6.0x 3.8m space  
ACHIEVED with AS4299-1995  
Areas can comply with current AS 2890.6  
no line marking in 3.8m area  
accessible space 3.8 x 5.4m allocated to accessible unit  
no bollard  
no international symbol for Access  
this option preferred as AS 4299 compliance is achieved, as easy strata nomination of parking spaces

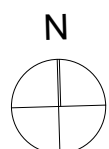


BCA D3.4  
Exempt area due to intended function and use.

Basement 1  
1:250

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north point:



key plan:

notes:

amendments:

Revision	Description	By	Date
P15	Basement adjustments	MR	06.05.19
P17	Preliminary Consultant Issue	MR	09.05.19
P18	Preliminary Consultant Issue	SB	20.05.19
P19	Preliminary Consultant Issue	SB	22.05.19
P22	Preliminary Consultant Issue	SB	04.06.19
P23	Preliminary Consultant Issue	SB	19.06.19
P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	23.07.19
P27	Preliminary Consultant Issue	SB	31.07.19

Access Consulting

**PHILIP CHUN**  
Building Compliance

Ref: AN19-213033 11-17 Columbia Lane Homebush  
Reviewed by: Doug Melloh  
Date: 01/08/2019 Review 2

## WORK IN PROGRESS



project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Basement 1

scale 1:250 @ A1 project architect SP / GK drawn GH / MA  
job no. 14028 drawing no. AP06 issue P27



BCA D3.4  
Exempt area

**Item 14 – Private Car Accommodation**  
A continuous accessible path of travel from the street frontage and carparking to the entry of the dwelling to AS1428.1 requirements.

Carparking space or garage – Area requirements 6,000mm x 3,800mm. (5,400 x 3,800mm permissible)  
- CAN COMPLY -

Details of final column widths for adaptable spaces required.

**LIVABLE HOUSING REQUIREMENTS (SILVER)**

Parking design elements for silver level are:

**Item 3 Car Parking:**

A minimum of 3200 x 5400mm for parking spaces with a maximum 1:40 gradient and maximum 1:33 for bitumen. Note this is only required where the car park forms part of the approach to the livable unit - for example, a carport.

- CAN COMPLY -

**Accessible car parking space delineation - AS 2890.6 (2009), Section 3.2**

Pavement markings specified it items (a) and (b) shall be **yellow** and shall have a slip resistant surface. Raised pavement markers shall not be used for space delineation.

Pavement markings shall be provided as follows:

(a) Dedicated parking spaces shall be outlined with **unbroken lines 80-100mm wide on all sides** excepting any side delineation by a kerb, barrier or wall;

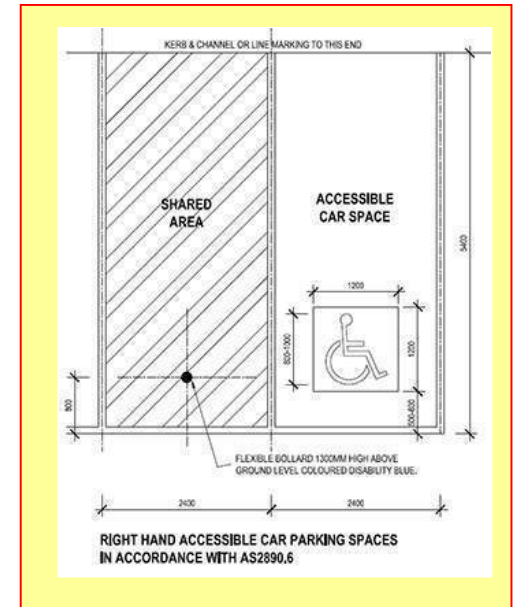
(b) Shared areas shall be marked as follows:

(i) Walkways within or partly within a shared area shall be marked with unbroken longitudinal lines on both sides of the walkway excepting any side delineated by kerb, barrier or wall.

(ii) Other vacant non-trafficked areas, which may be intentionally or unintentionally obstructed (eg by unintended parking), shall be outlined with **unbroken lines 80-100mm wide on all sides** excepting any side delineated by a kerb, barrier or wall, and marked with **diagonal stripes 150-200mm wide with spaces of 200mm-300mm between stripes**. The stripes shall be at an angle of 45 +/- 10 degrees to the side of the space.

(iii) No shared area markings shall be placed in trafficked areas.

- CAN COMPLY -



**Circulation space - AS 1428.1 (2009), Clause 6.5**

Ensure 1540mm(W) x 2070mm(L) turning space in corridor or between fixed joinery units is maintained where a direction of travel is more than 2.0 metres in accordance with NCC 2016, Part D3.3(c)(ii)(A) and AS 1428.1(2009), Clause 6.5.3.

- CAN COMPLY -

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Date: 01/08/2019 Review 2

**WORK IN PROGRESS**



project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Basement 2

scale 1:250 @ A1 project architect SP / GK drawn GH / MA  
job no. 14028 drawing no. AP05 issue P27

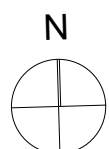
amendments:

Revision	Description	By	Date
P15	Basement adjustments	MR	06.05.19
P17	Preliminary Consultant Issue	MR	09.05.19
P18	Preliminary Consultant Issue	SB	20.05.19
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P22	Preliminary Consultant Issue	SB	04.06.19
P23	Preliminary Consultant Issue	SB	19.06.19
P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	23.07.19
P27	Preliminary Consultant Issue	SB	31.07.19

Basement 2  
1:250

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north point:



key plan:

notes:

BCA D3.4  
Exempt area

MECHANICAL  
SUP. AIR  
38.10 m<sup>2</sup>

3 ADDITIONAL  
SPACES TO  
LEVEL B4 ONLY

RL -2.625

RL -3.000

DEEP SOIL  
352.90 m<sup>2</sup>

DEEP SOIL  
1,012.40 m<sup>2</sup>

TOTAL 142 CAR SPACES  
RESIDENTIAL - 134 CLEAR, 8 STACKED  
64 STORAGE UNITS

**Passenger lifts**  
**BCA Part E3.6:**  
- Minimum internal lift car dimensions to be 1400mm(W) x 1600mm(D) if the lift travels more than 12m;  
- Enhanced features are required to meet BCA / Premises Standard Clause E3.6 and AS1735.12 (1999).  
- Compliance Certificate to be provided by manufacture -

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Ref: AN19-213033 11-17 Columbia Lane Homebush  
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Date: 01/08/2019 Review 2

WORK IN PROGRESS

**mpa**  
mosca pserras architects

project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Basement 3 & 4  
scale 1:250 @ A1  
job no. 14028

project architect SP / GK  
drawing no. AP04  
issue P27

drawn GH / MA

Basement 3 & 4  
1:250

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north point:

N

key plan:

notes:

amendments:

Revision	Description	By	Date
P15	Basement adjustments	MR	06.05.19
P17	Preliminary Consultant Issue	MR	09.05.19
P18	Preliminary Consultant Issue	SB	20.05.19
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P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	23.07.19
P27	Preliminary Consultant Issue	SB	31.07.19



**Grates - AS 1428.1 (2009), Clause 7.5**  
Drainage grates installed into the ground floor are anticipated.

Grates shall comply with the following:  
(a) Circular openings shall be not greater than 13 mm in diameter.  
(b) Slotted openings shall be not greater than 13 mm wide and be oriented so that the long dimension is transverse to the dominant direction of travel.  
NOTE: Where slotted openings are less than 8 mm, the length of the slots may continue across the width of paths of travel.

**Access to buildings - NCC, Part D3.2 (General)**  
A continuous accessible path of travel is to be provided to any building required to be accessible from:  
(a)  
(i) The main points of pedestrian entry at the allotment boundary; and  
(ii) From another accessible building connected by a pedestrian link; and  
(iii) From any required accessible car parking space on the allotment.  
(b)  
In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance, and:  
(i) Through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and  
(ii) In a building with a total floor area more than 500 square metres, a pedestrian entrance which is not accessible must not be located more than 50m from an accessible pedestrian entrance.  
- Can Comply -

**Tactile Indicators**  
**BCA, Part D3.8 and AS 1428.4.1 (2009)**  
For a building required to be accessible, tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment that they are approaching a hazard complying with NCC D3.8 and AS 1428.4.1 (2009).

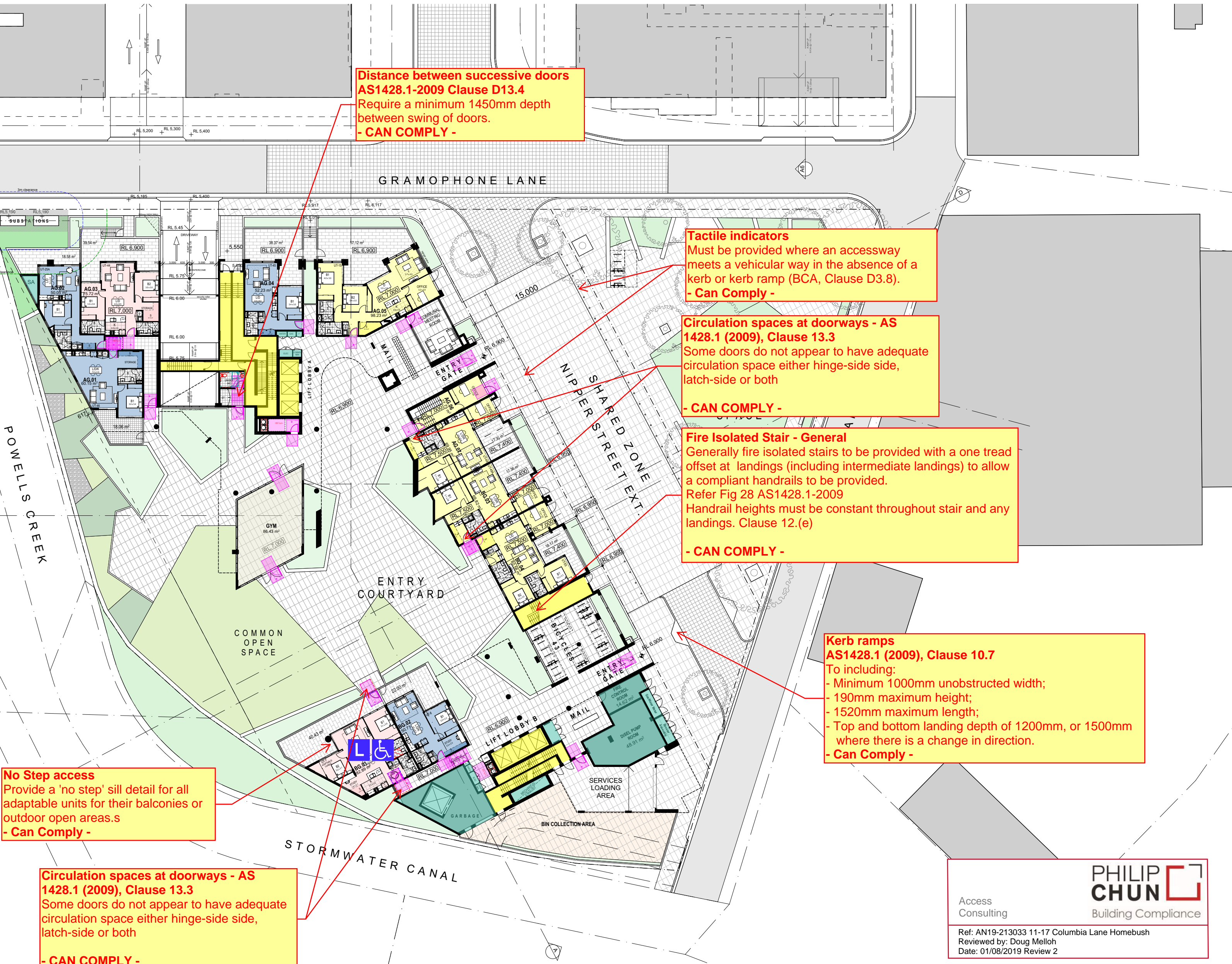
**When available appropriate drawings detailing tactile indicators should be provided for review.**

**Edge of carriageway** - Where a pedestrian area joins a carriageway at grade (i.e. on the same level) or to delineate the pedestrian area from the carriageway, TGSIs shall be provided in accordance with Figures 2.5(A) and 2.5(B) AS 1428.4.1 being a minimum TGSI width of 600mm, installed 300+/-10mm from the edge of the carriageway at grade.

**Stairways** - TGSIs are to be provided setback 300mm from the top and bottom of the stairway, for a depth of 600-800mm, for the full width of the path of travel.

**Ramps** - TGSIs are to be provided setback 300mm from the top and bottom of the ramp, for a depth of 600-800mm, for the full width of the path of travel.

- CAN COMPLY -



**Distance between successive doors**  
**AS1428.1-2009 Clause D13.4**  
Require a minimum 1450mm depth between swing of doors.  
- CAN COMPLY -

**Tactile indicators**  
Must be provided where an accessway meets a vehicular way in the absence of a kerb or kerb ramp (BCA, Clause D3.8).  
- Can Comply -

**Circulation spaces at doorways - AS 1428.1 (2009), Clause 13.3**  
Some doors do not appear to have adequate circulation space either hinge-side side, latch-side or both  
- CAN COMPLY -

**Fire Isolated Stair - General**  
Generally fire isolated stairs to be provided with a one tread offset at landings (including intermediate landings) to allow a compliant handrails to be provided.  
Refer Fig 28 AS1428.1-2009  
Handrail heights must be constant throughout stair and any landings. Clause 12.(e)  
- CAN COMPLY -

**Kerb ramps**  
**AS1428.1 (2009), Clause 10.7**  
To including:  
- Minimum 1000mm unobstructed width;  
- 190mm maximum height;  
- 1520mm maximum length;  
- Top and bottom landing depth of 1200mm, or 1500mm where there is a change in direction.  
- Can Comply -

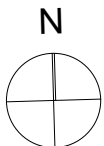
**No Step access**  
Provide a 'no step' sill detail for all adaptable units for their balconies or outdoor open areas.s  
- Can Comply -

**Circulation spaces at doorways - AS 1428.1 (2009), Clause 13.3**  
Some doors do not appear to have adequate circulation space either hinge-side side, latch-side or both  
- CAN COMPLY -

Ground.  
1:250

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☐ all discrepancies to be brought to the attention of the author.

north point:



key plan:

notes:

- 1 BED UNITS
- 2 BED UNITS
- 3 BED UNITS
- LIVE WORK UNITS

amendments:

Revised	Description	By	Date
P17	Preliminary Consultant Issue	MR	09.05.19
P18	Preliminary Consultant Issue	SB	20.05.19
P19	Preliminary Consultant Issue	SB	22.05.19
P22	Preliminary Consultant Issue	SB	04.06.19
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P26	Preliminary Consultant Issue	SB	23.07.19
P27	Preliminary Consultant Issue	SB	25.07.19
P28	Preliminary Consultant Issue	SB	31.07.19

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**PHILIP CHUN**  
Building Compliance

Ref: AN19-213033 11-17 Columbia Lane Homebush  
Reviewed by: Doug Melloh  
Date: 01/08/2019 Review 2

**WORK IN PROGRESS**



project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Ground Floor

scale 1:250 @ A1 project architect SP / GK drawn GH / MA  
job no. 14028 drawing no. AP07 issue P28





Access Consulting

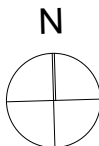
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north point:



key plan:

notes:

- 1 BED UNITS
- 2 BED UNITS
- 3 BED UNITS
- LIVE WORK UNITS

amendments:

Revision	Description	By	Date
P15	Client unit adjustments	MA	30.04.19
P17	Preliminary Consultant Issue	MR	09.05.19
P18	Preliminary Consultant Issue	SB	20.05.19
P19	Preliminary Consultant Issue	SB	22.05.19
P22	Preliminary Consultant Issue	SB	04.06.19
P23	Preliminary Consultant Issue	SB	19.06.19
P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	25.07.19
P27	Preliminary Consultant Issue	SB	31.07.19



project	MIXED USE DEVELOPMENT
location	11-17 Columbia Lane, HOMEBUSH
client	Columbina Lane Development Pty. Ltd
drawing title	Level 1
scale	1:250 @ A1
job no.	14028
project architect	SP / GK
drawing no.	AP08
drawn	GH / MA
issue	P27





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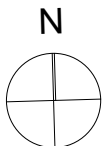
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Ref: AN19-213033 11-17 Columbia Lane Homebush  
Reviewed by: Doug Melloh  
Date: 01/08/2019 Review 2

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north point:



key plan:

notes:

- 1 BED UNITS
- 2 BED UNITS
- 3 BED UNITS
- LIVE WORK UNITS

amendments:

Revision	Description	By	Date
P15	Client unit adjustments	MA	30.04.19
P17	Preliminary Consultant Issue	MR	09.05.19
P18	Preliminary Consultant Issue	SB	20.05.19
P19	Preliminary Consultant Issue	SB	22.05.19
P22	Preliminary Consultant Issue	SB	04.06.19
P23	Preliminary Consultant Issue	SB	19.06.19
P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	25.07.19
P27	Preliminary Consultant Issue	SB	31.07.19



project	MIXED USE DEVELOPMENT
location	11-17 Columbia Lane, HOMEBUSH
client	Columbina Lane Development Pty. Ltd
drawing title	Level 2-6
scale	1:250 @ A1
job no.	14028
project architect	SP / GK
drawing no.	AP09
drawn	GH / MA
issue	P27

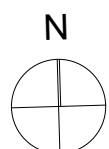




Level 7  
1:250

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key plan:

notes:

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- 3 BED UNITS
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amendments:

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P15	Client unit adjustments	MA	30.04.19
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P23	Preliminary Consultant Issue	SB	19.06.19
P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	25.07.19
P27	Preliminary Consultant Issue	SB	31.07.19

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project	MIXED USE DEVELOPMENT
location	11-17 Columbia Lane, HOMEBUSH
client	Columbina Lane Development Pty. Ltd
drawing title	Level 7
scale	1:250 @ A1
job no.	14028
project architect	SP / GK
drawing no.	AP10
drawn	GH / MA
issue	P27





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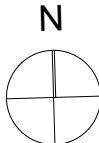
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location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Level 8  
scale 1:250 @ A1 project architect SP / GK drawn GH / MA  
job no. 14028 drawing no. AP11 issue P26

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key plan:

notes:

- 1 BED UNITS
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- 3 BED UNITS
- LIVE WORK UNITS

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Revision	Description	By	Date
P14	Pre-DA issue	SB	04.06.19
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P26	Preliminary Consultant Issue	SB	31.07.19





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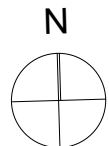
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key plan:

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P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	31.07.19



project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Level 9-12  
scale 1:250 @ A1 project architect SP / GK drawn GH / MA  
job no. 14028 drawing no. AP12 issue P26





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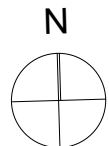
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Reviewed by: Doug Melloh  
Date: 01/08/2019 Review 2

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notes:

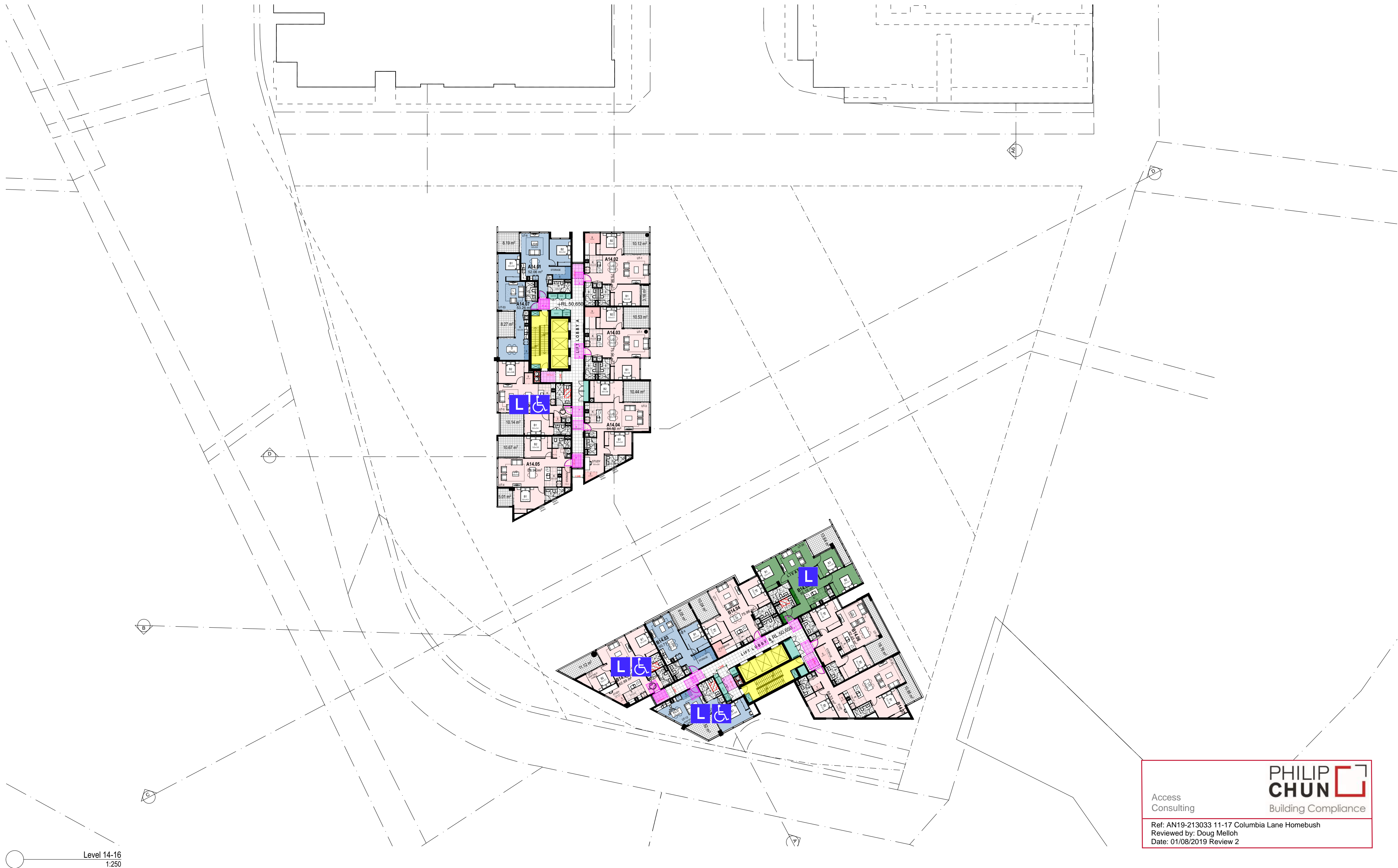
- 1 BED UNITS
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amendments:

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P14	Pre-DA Issue	SB	04.06.19
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P22	Preliminary Consultant Issue	SB	04.06.19
P23	Preliminary Consultant Issue	SB	19.06.19
P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	31.07.19



project	MIXED USE DEVELOPMENT
location	11-17 Columbia Lane, HOMEBUSH
client	Columbina Lane Development Pty. Ltd
drawing title	Level 13
scale	1:250 @ A1
job no.	14028
project architect	SP / GK
drawing no.	AP13
drawn	GH / MA
issue	P26



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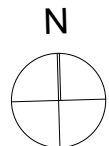
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key plan:

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Revision	Description	By	Date
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P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	31.07.19



project  
location  
client

MIXED USE DEVELOPMENT  
11-17 Columbia Lane, HOMEBUSH  
Columbina Lane Development Pty. Ltd

drawing title  
scale 1:250 @ A1  
job no. 14028

Level 14-16  
project architect  
drawing no. AP14

SP / GK  
drawn  
issue

GH / MA  
P26





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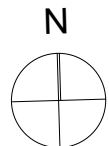
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key plan:

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P22	Preliminary Consultant Issue	SB	04.06.19
P23	Preliminary Consultant Issue	SB	19.06.19
P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	31.07.19



project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Level 17

scale 1:250 @ A1  
job no. 14028  
project architect SP / GK  
drawing no. AP15  
drawn GH / MA  
issue P26

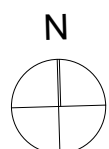


Levels 18 - 21  
1:250

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north point:



key plan:

notes:

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P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	31.07.19

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Reviewed by: Doug Melloh  
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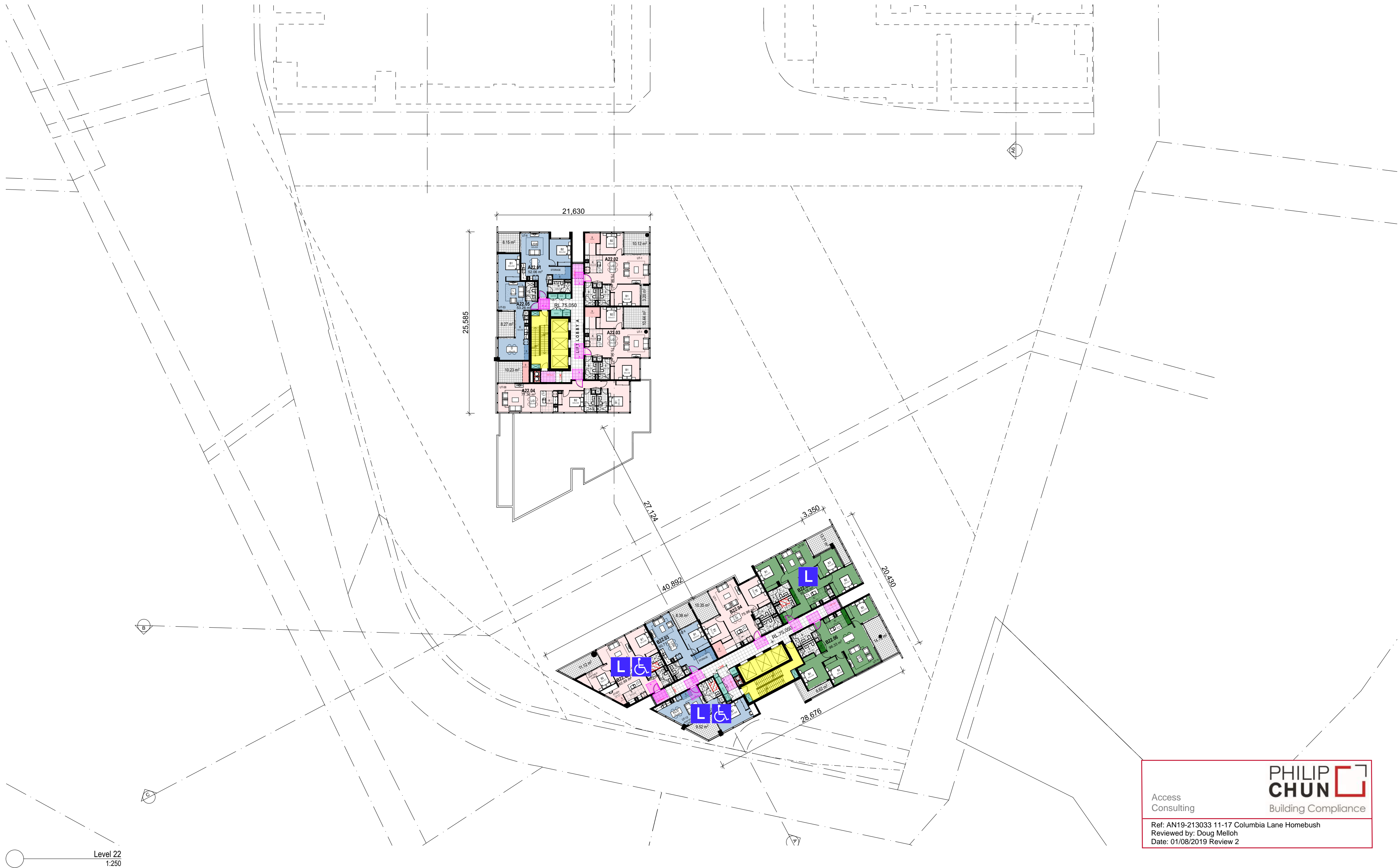


project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Level 18-21

scale 1:250 @ A1  
job no. 14028  
project architect SP / GK  
drawing no. AP16  
drawn GH / MA  
issue P26





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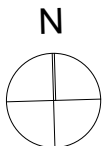
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north point:



key plan:

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P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	31.07.19



project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Levels 22

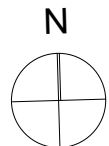
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job no. 14028 drawing no. AP17 issue P26



Level 23  
1:250

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north point:



key plan:

notes:

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- LIVE WORK UNITS

amendments:

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P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	31.07.19

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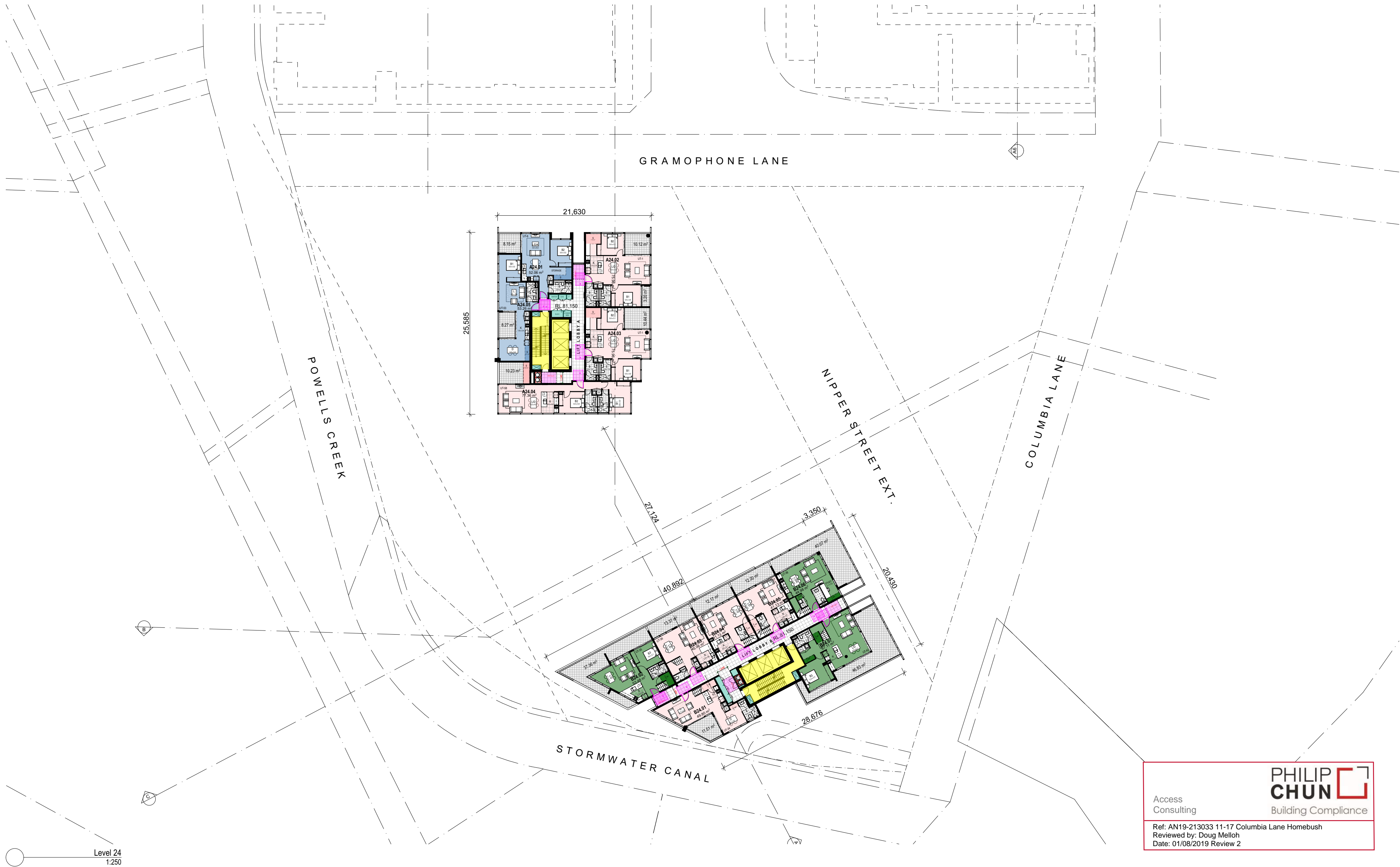


project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Level 23

scale 1:250 @ A1 project architect SP / GK drawn GH / MA  
job no. 14028 drawing no. AP18 issue P26





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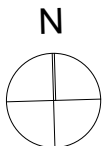
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- LIVE WORK UNITS

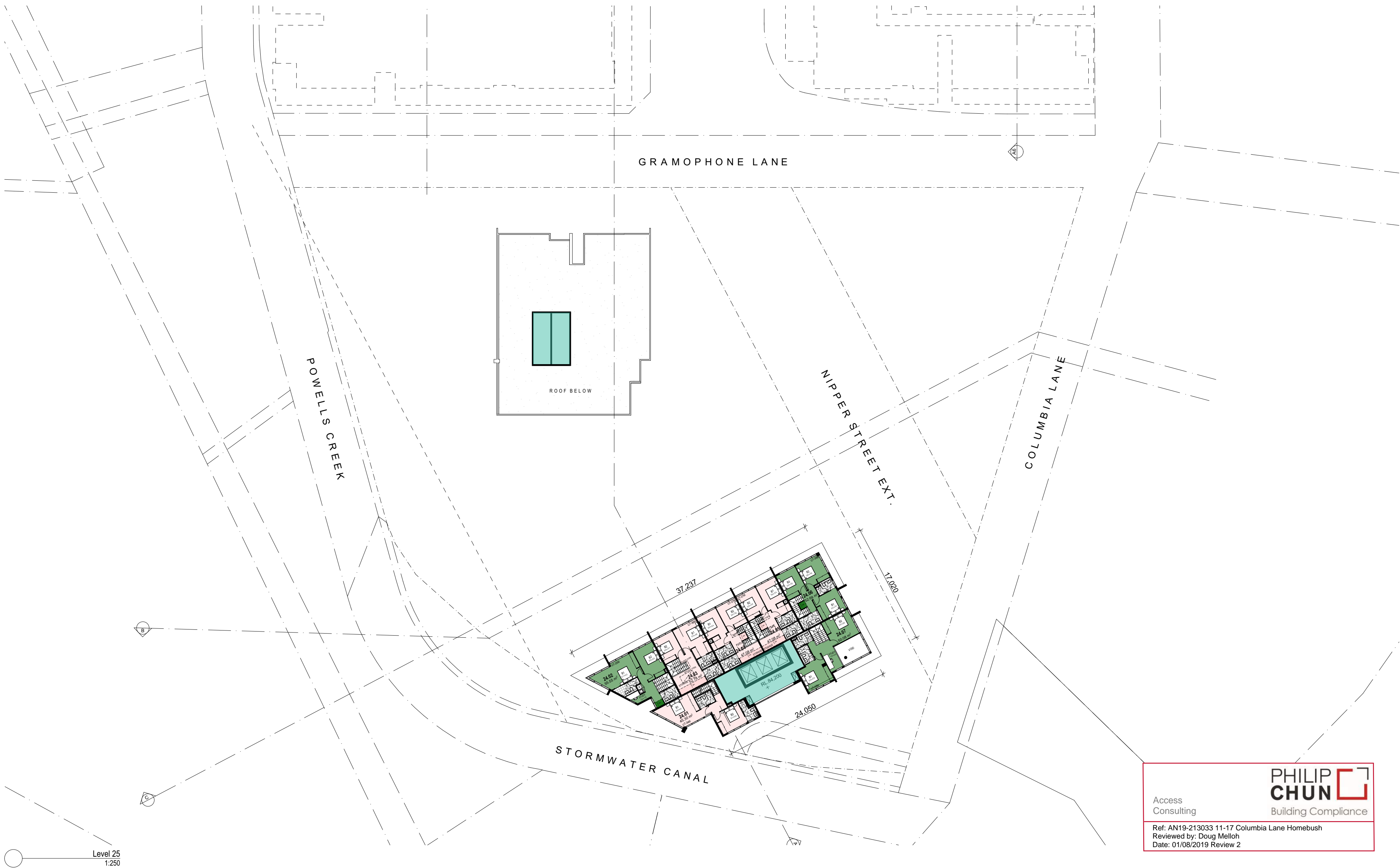
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P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	31.07.19



project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Level 24  
scale 1:250 @ A1  
job no. 14028  
project architect SP / GK  
drawing no. AP19  
drawn GH / MA  
issue  
P26



Level 25  
1:250

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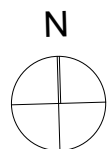
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north point:



key plan:

notes:

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- LIVE WORK UNITS

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P23	Preliminary Consultant Issue	SB	19.06.19
P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19
P26	Preliminary Consultant Issue	SB	31.07.19

## WORK IN PROGRESS



project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Level 25

scale 1:250 @ A1 project architect SP / GK drawn GH / MA  
job no. 14028 drawing no. AP20 issue P26



**GENERAL NOTE - BCA (2016)**  
Ensure the proposed development complies with the relevant parts of the BCA as it relates to disability access including, but not limited to, Part D3 - Access for people with a disability.

**GENERAL NOTE – ADAPTABLE HOUSING (AS4299-1995)**

**Accessible housing** - Housing with features already in place to facilitate use by a person with a disability or progressive frailty.

**Adaptable housing** – An adaptable house is designed in a way that it can be 'modified easily' in the future to become accessible.

What are the requirements for 'modified easily', - Under the principles of adaptable housing 'easily modified' include all later alterations that can be achieved at minimal inconvenience and minimal extra cost.

Items that **are considered** easily modified include:

- Kitchens including fixtures and fittings, where sufficient space is provided at the onset
- Bathrooms including fixtures and fittings, where plumbing relocation works are not required.
- Removal of joinery items – wardrobes etc. that are not structural.
- Illumination lighting levels.

Items that **are not considered** easily modified include:

- Accessway to a house entrance, from the boundary and from any carparking area.
- Accessway from an entry, to a living area and to an accessible or visitable toilet.
- Carparking area requirements.
- Letterbox access and location.
- Steps or level changes within the house.
- Entry and internal door clear widths. (850mm clear width\*)
- Circulation area requirements to use entry and internal doors. (Comply with AS1428.1\*)
- Internal corridor widths.
- Main bedroom, living and laundry area requirements
- Door hardware and light switch locations. (1000mm above FFL\*)
- Visitable toilet with 1250mm x 900mm clear space in front of pan.

**Schedule of Features for Adaptable Housing - Class C**

Items applying to adaptable housing to achieve Class C compliance with AS4299 in a **pre-adapted** design includes items 1, 3, 11, 14, 20 Inc. (22, 23, 24, 25, 27), 32 Inc. (33, 34), 36, 62, 98 Inc. (99, 102, 105, 108), and 110.

Items applying to adaptable housing to achieve Class C compliance with AS4299 in a **post-adapted** design includes items 37, 41, 42 Inc. (43, 44, 45, 46, 47, 48, 49, 51, 52, 53, 54, 59, 60, 61), 75 Inc. (76, 77, 78, 79, 80, 82, 83, 86, 88, 90), 92 Inc. (93, 94, 95, 96), and 100.

**Kitchen adaption note:**

Kitchen layouts should be designed to allow for future adaption to cater for people who use wheelchairs or other mobility aids as described in AS4299. Adapted kitchen designs and feature will depend on the particular disability of the individual residents. As such adaptable features, such as adjustable benches and sinks, clear space under benches and the location of GPO's and taps shall be designed and adapted on a case by case basis and need not be included within the standard kitchen design. An adaptable housing unit is designed in such a way that it can be easily modified in the future to achieve the required accessible features. Drawing showing the units pre-adaption and post-adaption stages shall be provided. The proposed pre-adapted unit layouts shall not prohibit the kitchen being adapted with some or all of the requirements of AS4299 in the future. Refer Clause 2.2 AS4299.

**Item 1 – Drawings**  
Provision of drawings showing the housing unit in its proposed pre-adaption and post adaption stages.  
**- Complies –**

**Item 3 – Site Access**  
A continuous accessible path of travel from the street frontage and carparking to the entry of the dwelling to AS1428.1 requirements.  
**- Compliance can be achieved –**

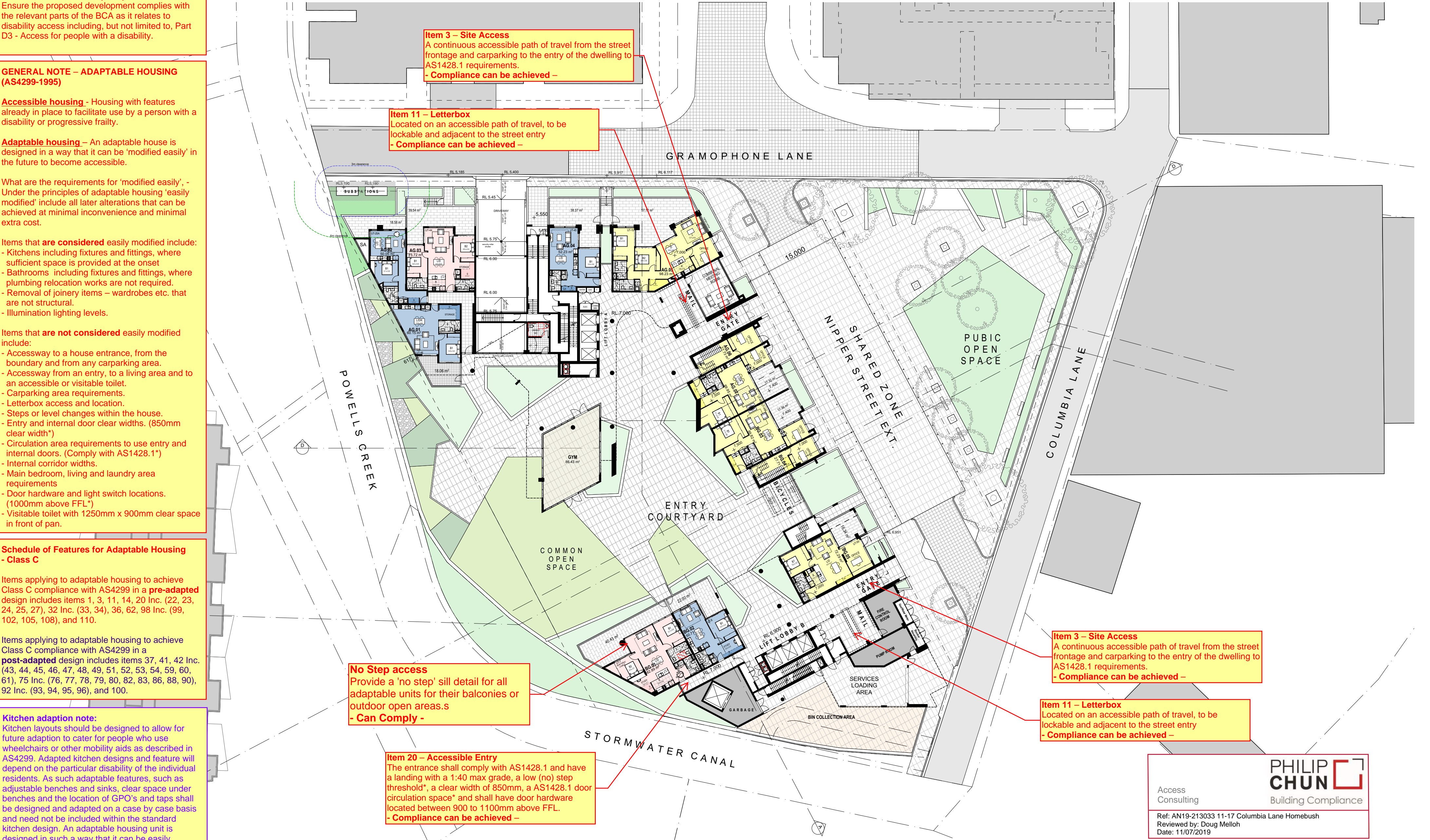
**Item 11 – Letterbox**  
Located on an accessible path of travel, to be lockable and adjacent to the street entry  
**- Compliance can be achieved –**

**No Step access**  
Provide a 'no step' sill detail for all adaptable units for their balconies or outdoor open areas.s  
**- Can Comply -**

**Item 20 – Accessible Entry**  
The entrance shall comply with AS1428.1 and have a landing with a 1:40 max grade, a low (no) step threshold\*, a clear width of 850mm, a AS1428.1 door circulation space\* and shall have door hardware located between 900 to 1100mm above FFL.  
**- Compliance can be achieved –**

**Item 3 – Site Access**  
A continuous accessible path of travel from the street frontage and carparking to the entry of the dwelling to AS1428.1 requirements.  
**- Compliance can be achieved –**

**Item 11 – Letterbox**  
Located on an accessible path of travel, to be lockable and adjacent to the street entry  
**- Compliance can be achieved –**



Access Consulting

**PHILIP CHUN**

Building Compliance

Ref: AN19-213033 11-17 Columbia Lane Homebush

Reviewed by: Doug Melloh

Date: 11/07/2019

**WORK IN PROGRESS**

mpa

mosca pserras architects

project

MIXED USE DEVELOPMENT

location

11-17 Columbia Lane, HOMEBUSH

client

Columbia Lane Development Pty. Ltd

drawing title

Ground Floor

scale

1:250 @ A1

job no.

14028

project architect

SP / GK

drawing no.

AP07

drawn

GH/MA

issue

P25







**GENERAL NOTE - BCA (2016)**  
Ensure the proposed development complies with the relevant parts of the BCA as it relates to disability access including, but not limited to, Part D3 - Access for people with a disability.

**LIVABLE HOUSING REQUIREMENTS (SILVER)**  
The eight core design elements for silver level are:

- 1 Access from Street Entrance and/or Parking:**  
A minimum 1000mm width to path of travel that is step free from the street entrance and/or car parking area to a dwelling entrance.
- 2 Step free entrance:**  
At least one level step-free entrance to the dwelling with reasonable shelter and level landing area of minimum 1200x1200mm at the landing door. Minimum 820mm clear door opening.
- 3 Internal doors & corridors:**  
Internal corridors to be a minimum of 1000mm clear width. 820mm clear door openings are required for living, dining, bedroom, bathroom, kitchen, laundry and toilet. (850mm clear door opening recommended) A level transition at thresholds is required.
- 4 Easy Access Toilet:**
  - a) Provide a toilet on the ground or entry level with a minimum of 900 x 1200mm circulation space in front of toilet pan and clear of door swing.
  - b) Toilet pan to be in the corner of the room to enable installation of grab-rails.
- 5 Step Free Shower:**  
A bathroom should contain a hobless (step-free) shower recess and be located in the corner of the room for grabrails installation at a future date.
- 6 Reinforced Walls for Grabrails:**  
Reinforced walls around the toilet, shower and bath to support the safe installation of grabrails at a later date. Refer Livable Housing Design Guidelines for further reinforcement details.
- 7 Internal Stairway:**  
Provide a continuous handrail on one side of any stairway where there is a rise of more than one metre.

units shall have a clear opening of 820mm with door circulation spaces complying with AS1428.1 in accordance with Clause 13 of AS1428.1-2009.

3. Tactile ground surface indicators will be installed as follows in accordance with Clause D3.8 of NCC2015:

- a. at the top and bottom of stairways (other than fire isolated stairways); and where an overhead obstruction is less than 2 metres above the finished floor level, other than a doorway.
- b. in the absence of a suitable barrier.
- c. An overhead obstruction less than two metres above the finished floor level, other than a doorway.
- d. An accessway meeting a vehicular way adjacent to any pedestrian entrance to a building, excluding a pedestrian entrance serving an area referred to in D3.4, if there is no kerb or kerb ramp at that point.

4. On an accessway where there is no chair rail, handrail or transom, all fire-rated or fully glazed doors, sidelights or glazing capable of being mistaken for a doorway or opening will be clearly marked and comply with Clause 6.6 of AS1428.1-2009. A solid non-transparent contrasting line not less than 75mm wide is to extend across the full width of the glazing panel. The lower edge of the contrasting line is to be located between 900mm and 1000mm above the plane of the finished floor level. The contrasting line is to provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 metres of the glazing on the opposite side.

5. All doorways will have a minimum luminance contrast of 30% in accordance with Clause 13.1 of AS1428.1-2009.

6. Fixtures and fittings in accessible sanitary facilities will be provided and installed in accordance Clause 15 of AS1428.1-2009.

7. Walkways will comply with Clause 10 of AS1428.1-2009.

8. For the walkways, the floor or ground surface abutting the sides of the walkway will be firm and level of a different material to that of the walkway at the same level and follow the grade of the walkway and extend horizontally for a minimum of 600mm, or be provided with a kerb or kerb rail in accordance with Clause 10.2 of AS1428.1-2009.

9. Stairways will comply with Clause 11 of AS1428.1-2009.

10. The fire-isolated stairs will comply with Clause 11.10 and (g) of AS1428.1-2009.

11. Handrails will comply with Clause 12 of AS1428.1-2009.

12. Grabrails will comply with Clause 17 of AS1428.1-2009.

13. Switches and power points will comply with Clause 14 of AS1428.1-2009.

units will have a clear opening of 820mm with door circulation spaces complying with AS1428.1 in accordance with Clauses 4.3.3 and 4.3.7 respectively of AS4299.

37. A telephone outlet will be provided adjacent to GPO in living/dining area in accordance with Clause 4.7.4 of AS4299.

38. The kitchen cabinet design will allow for the removal of the cabinets under the sink and adjacent work surface in accordance with Clause 4.5.6 of AS4299.

39. Cook tops to be provisioned with isolating switches or gas stop valves that can be easily and safely operated with the cook top in use in accordance with Clause 4.5.7 of AS4299.

40. GPOs will comply with AS 1428.1 with at least one double GPO provided within 300mm of front of work surface and a GPO for refrigerator will be easily reachable when the refrigerator is in its operating position in accordance with Clause 4.5.11 of AS4299.

41. The adaptable bathroom will be provisioned for the fit-out to comply with AS1428.1 in accordance with 4.4.1 of AS4299.

42. The shower of the adaptable bathroom will be hob-less in accordance with Clause 4.4.4(f) of AS4299.

43. The bathrooms will be waterproofed to comply with AS3740.

44. The soap holder will be recessed in accordance with Clause 4.4.4(f) of AS4299.

45. Shower heads and taps will be located at a height and clearance compliant with AS1428.1 in accordance with Clause 4.4.4(f) of AS4299.

46. Provision for the installation of all grabrails, shower hardware, and folding seat will be provided in accordance with Clause 4.4.4(h) of AS4299.

47. Provision for the installation of a washbasin with clearances as required by AS1428.1 will be provided in accordance with Clause 4.4.4(g) of AS4299.

48. A double GPO will be provided beside the mirror in the adaptable bathroom in accordance with Clause 4.4.4(g) of AS4299.

49. Provision for the toilet to comply with AS1428.1 will be provided, including locating the pan in the correct position or providing future plumbing correction, and the provision for the installation of all grabrails in accordance with Clauses 4.4.1, 4.4.3 and 4.4.4(h) of AS4299.

50. Where a clothes line is provided, accessible path of travel will be provided to this in accordance with Clause 4.8(a) of AS4299.

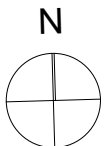
51. A double GPO will be provided in the laundry, as well as a shelf at a height of 1200mm maximum in accordance with Clause 4.8 of AS4299.

52. Lighting will be provided to the adaptable units in accordance with Clause 4.10 of AS4299.

53. Adaptable car spaces will achieve a space (and sized) to be capable of achieving compliance with AS/NZS 2890.6-2009.

- ☐ this drawing is copyright and the property of the author, and must not be retained, copied or used without the authority of mosca perras architects.
- ☐ larger scale drawings and written dimensions take preference.
- ☐ do not scale from drawing
- ☐ all dimensions to be checked on site before commencement of work.
- ☐ all discrepancies to be brought to the attention of the author.

north point:



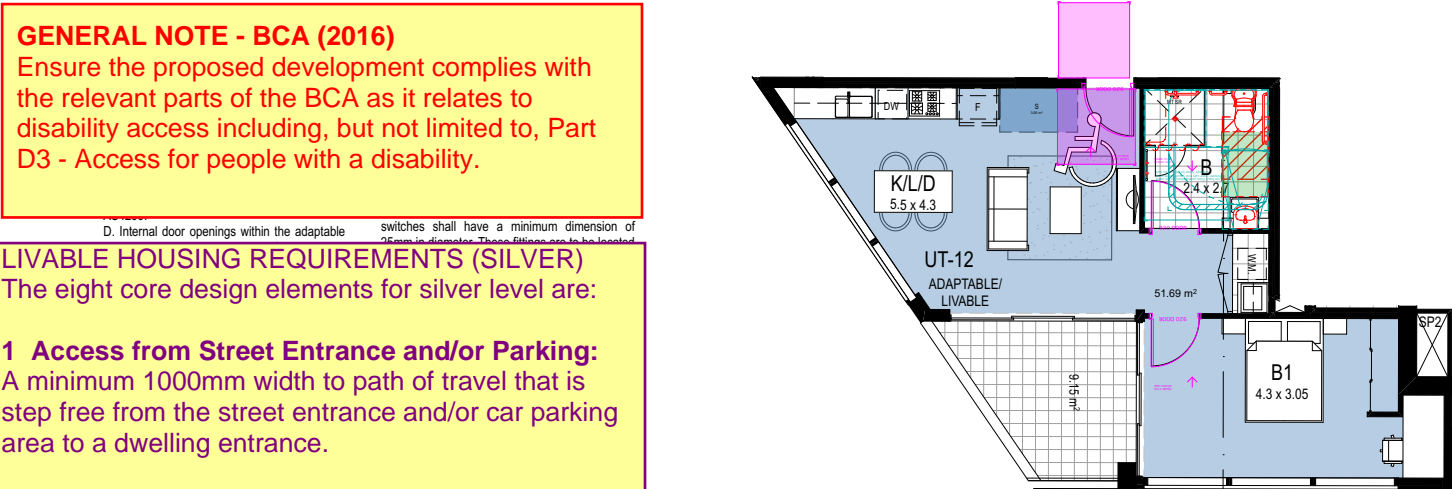
key plan:

notes:

Refer to Drawing No: AP02 Data for adaptable and livable unit allocations.

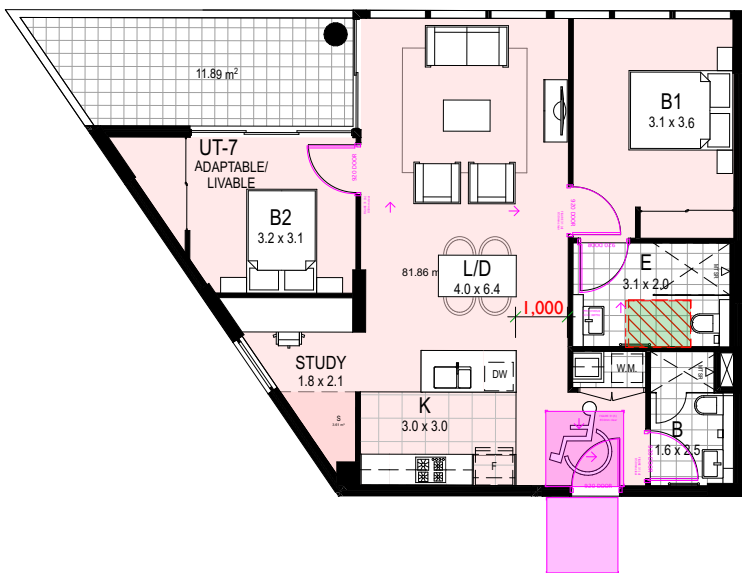
amendments:

Revision	Description	By	Date
P12	Preliminary Consultant Issue	SB	17.10.18
P13	Pre-DA Issue	SB	05.11.18
P14	Pre-DA Issue	SB	04.06.19
P17	Preliminary Consultant Issue	MR	09.05.19
P18	Preliminary Consultant Issue	SB	20.05.19
P19	Preliminary Consultant Issue	SB	22.05.19
P22	Preliminary Consultant Issue	SB	04.06.19
P23	Preliminary Consultant Issue	SB	19.06.19
P24	Preliminary Consultant Issue	MA	27.06.19
P25	Preliminary Consultant Issue	MA	02.07.19



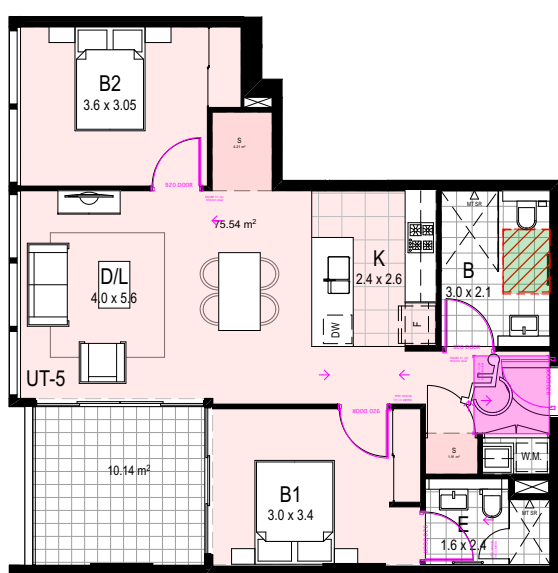
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B2.01 B10.01 B18.01  
B3.01 B11.01 B19.01  
B4.01 B12.01 B20.01  
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B6.01 B14.01 B22.01  
B7.01 B15.01 B23.01  
B8.01 B16.01



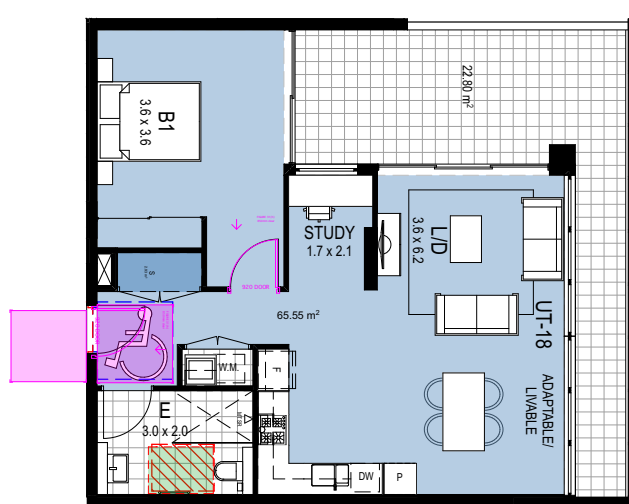
UT-7 Pre Adaptation  
& Livable 1:100

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B3.02 B11.02 B19.02  
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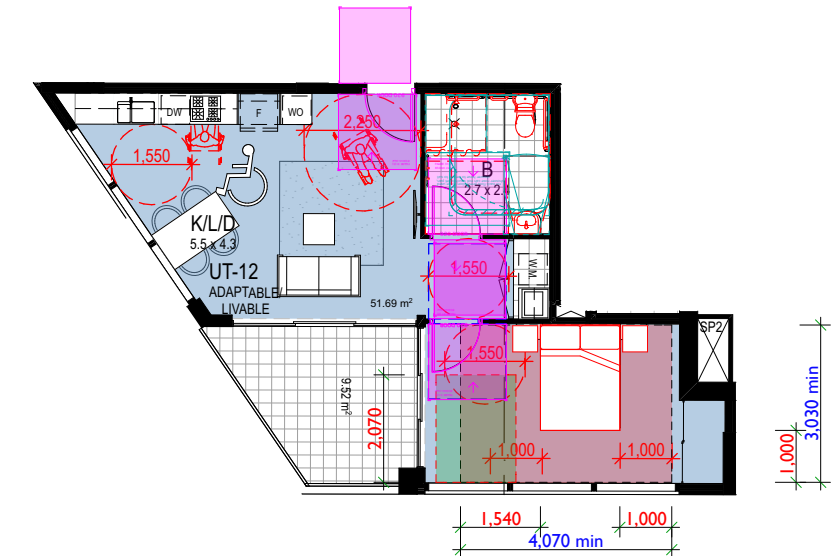
UT-5 Pre Adaptation  
& Livable 1:100

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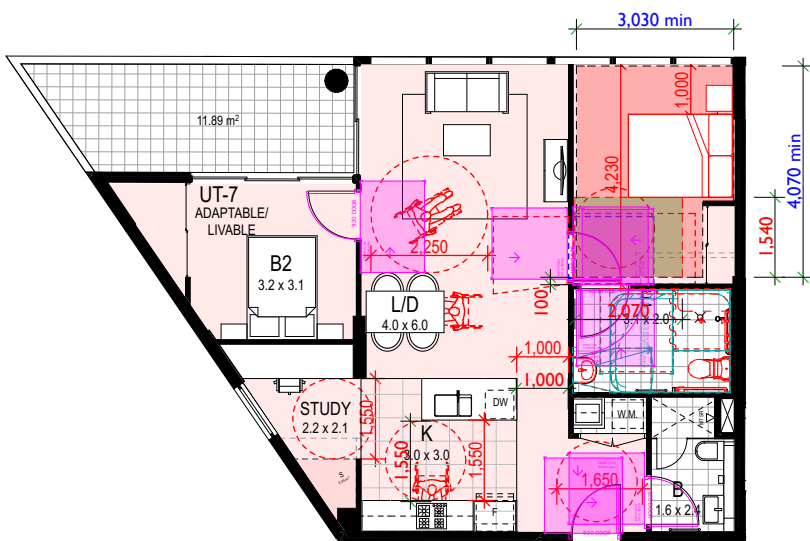


UT-18 Pre Adaptation  
& Livable 1:100

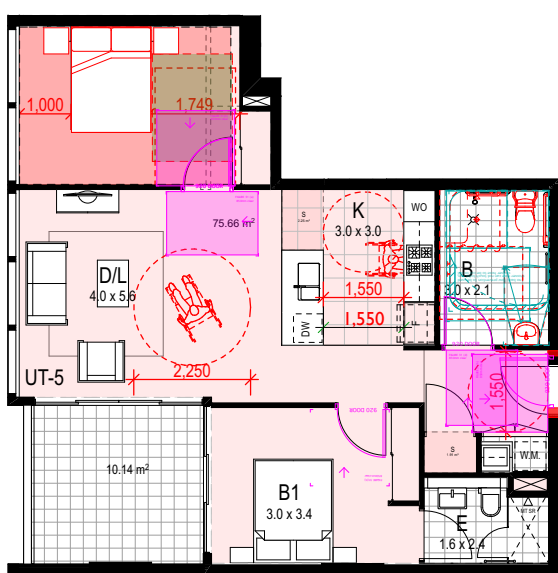
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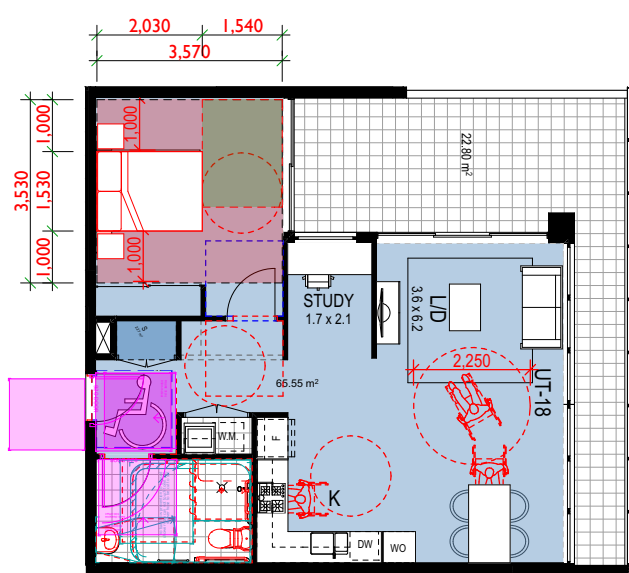
UT-12 Post Adaptation  
1:100



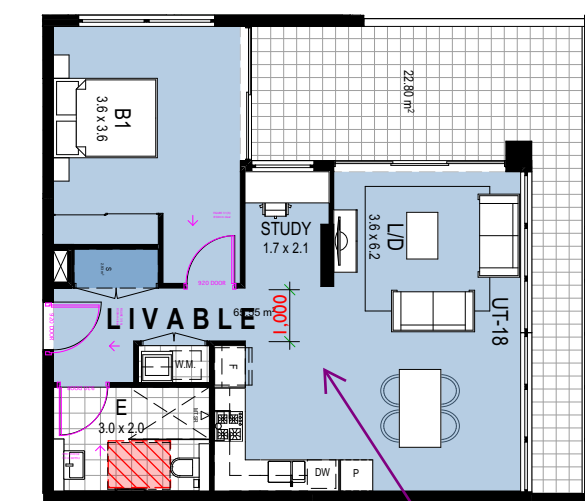
UT-7 Post Adaptation  
1:100



UT-5 Post Adaptation  
1:100



UT-18 Post Adaptation  
1:100



UT-18 Livable  
1:100

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UT-28 Livable  
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B9.05 B15.05  
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B12.05 B18.05  
B13.05 B19.05  
B14.05 B20.05  
B21.05  
B22.05  
B23.05

This unit is considered capable of achieving Livable Housing requirements.

This unit is considered capable of achieving Livable Housing requirements.

**LIVABLE HOUSING**  
SEPP 65 requires that 20% of all units provided to incorporate features of Livable Housing Design Guidelines for silver level. These units can be included within the Adaptable and Visitable units.  
**- Compliance Achieved -**

Access Consulting

PHILIP CHUN Building Compliance

Ref: AN19-213033 11-17 Columbia Lane Homebush  
Reviewed by: Doug Melloh  
Date: 11/07/2019

## WORK IN PROGRESS



project MIXED USE DEVELOPMENT  
location 11-17 Columbia Lane, HOMEBUSH  
client Columbina Lane Development Pty. Ltd

drawing title Adaptable & Livable Units

scale 1:100 @ A1 project architect SP / GK drawing GH/ MA  
job no. 14028 drawing no. AP29 issue P25



## **APPENDIX B**

### **MANDATORY ACCESS COMPLIANCE REQUIREMENTS**



## **ACCESSIBLE CARPARKING**

Accessible carparking to be a minimum of 2400mm wide with a shared area to one side of the space 2400mm wide. Circulation space can be shared between adjacent accessible carparks. For a single space, a total width of 4800mm is required. The car space and the shared zone should be a minimum of 5400mm long.

Provide a bollard to the shared circulation space as illustrated in AS2890.6, Figure 2.2. The maximum allowable crossfall of an accessible carparking area is to be 1:40, (1:33 for outdoor spaces). This crossfall applies both parallel and perpendicular to the angle of parking.

For covered carparking, the clear height of the accessible carparking space to be 2500mm as illustrated in AS2890.6, Figure 2.7 and approach path is to have a minimum of 2200mm.

Designated accessible carparking is to be identified using the International Symbol for Access (ISA) and line marked as specified in AS2890.6.

## **EXTERNAL PATHWAYS AND WALKWAYS**

The minimum unobstructed width of all pathways and walkways is to be 1000mm (AS1428.1 (2009), Clause 6.3). A width of 1200mm is preferred for compliance with AS1428.2 (1992).

All pathways and walkways are to be constructed with no lip or step at joints between abutting surfaces. A construction tolerance of 3mm is allowable, 5mm for bevelled edges -refer to Figure 6 of AS1428.1(2009).

The maximum allowable crossfall of pathways and walkways is to be 1:40. The surfaces of an accessible path of travel are to be slip-resistant.

The ground abutting the sides of the pathways and walkways should follow the grade of the pathway and extend horizontally for 600mm. This is not required where there is a kerb or handrail provided to the side of the pathway (refer to AS1428.1 (2009) Clause 10.2).

Maximum allowable gradient of the walkway is 1:20 and maximum length between landings to be 15m (for 1:20 gradient). Landings to be a minimum 1200mm in length (where there is no change in direction). For changes in direction of 180°, landings to be 1540mm in length – refer to AS1428.1 (2009), Clause 10.8.

## **KERB RAMPS**

Kerb ramps to comply with AS1428 (2009) Amendment 1, Clause 10.7.

Maximum gradient of the kerb ramps to be 1:8 and maximum length to be 1520mm (providing a maximum height of 190mm).

Kerb ramps to have a non-slip surface as required by AS1428.

A tooled joint should be provided between parts of the kerb ramp to assist persons with a vision impairment with orientation.

## **STEP RAMPS**

The configuration of the step ramps to comply with the requirements of AS1428.1, Clause 10.6. Maximum gradient of the step ramp is to be 1:10 and maximum length to be 1900mm (providing a maximum height of 190mm).

Provide landings at the top and bottom of the step ramp to comply with AS1428.1, Clause 10.8.2.



Step ramp to be enclosed on both sides (minimum height 450mm) or a kerb and handrail needs to be installed. Where a kerb is to be installed, the height of kerb rails is to be less than 65mm or greater than 150mm above the finished surface level of the ramp. This is to ensure that the foot plate of a wheelchair cannot become lodged on the kerb rail.

## **ACCESSIBLE RAMPS**

Ramps are to comply with AS1428.1 (2009) Clause 10.3. Maximum allowable gradient of the ramp is 1:14, minimum clear width to be 1000mm and maximum length between landings to be 9m (for 1:14 gradient).

Accessible ramp are to have a maximum rise of 3.6m (BCA Part 3.11).

Externally, ramps are required to be set back a minimum 900mm from the property boundary (AS1428.1 (2009), Clause 10.3 (f)). This allows tactile indicators and handrail extensions to occur within the boundary and not protrude into the footpath area.

Internally, ramps are required to be set back a minimum 600mm from an internal corridor (AS1428.1 (2009), Clause 10.3 (f)). This allows tactile indicators and handrail extensions to be provided and not protrude into the corridor area.

Provide handrails, with extensions, to both sides of the ramp to comply with AS1428.1 (2009), Clause 12. Handrails are to have an external diameter between 30-50mm to assist persons with a manual disability such as arthritis. Handrails are required on both sides of the ramp to cater for left and right handed disabilities.

Where a ramp is not enclosed, provide kerb rails in accordance with AS1428.1 (2009). The height of kerb rails is to be less than 65mm or greater than 150mm above the finished surface level. This is to ensure that the foot plate of a wheelchair cannot become lodged on the kerb rail.

Provide tactile indicators at the top and bottom of the ramps to comply with BCA Part D3.8 and AS1428.4.1 (2009). Tactile indicators are to be detectable, durable, non-slip and have a minimum 30% luminance contrast to the background colour. Tactile indicators at the top and bottom of the ramps to be 600-800mm deep across the width of the ramp and set back 300mm from the edge of the ramp (refer AS1428.4 (2009), Figure A1).

Tactile indicators will be required at a mid-landing where the ramp is not continuous. Where the handrail is continuous along both sides of the mid-landing, tactile indicators are not required.

## **PEDESTRIAN CROSSINGS**

Where kerb ramps are to be provided at pedestrian crossings to provide an accessible path of travel for persons with a disability they are to comply with AS1428.1 (2009), Clause 10.7.

Where a pedestrian crossing is at the same level as the roadway, provide tactile indicators to both sides of the roadway to alert persons with a vision impairment of the hazard. Tactile indicators are to be 600-800mm deep across the width pedestrian crossing. Tactile indicators are to be detectable, durable, non-slip and have a minimum 30% luminance contrast to the background colour.

## **THRESHOLD RAMPS**

Threshold ramps are to comply with AS1428.1 (2009), Clause 10.5.

Threshold ramps are to have a maximum rise of 35mm, maximum length of 280mm and maximum gradient of 1:8.

Threshold ramps to be located within 20mm of the door leaf that it services.



## **BUILDING ENTRANCES**

Entrances are to comply with AS1428.1 (2009), Clause 13 as part of the accessible path of travel.

Doors are to have a minimum clear opening width of 850mm to comply AS1428.1 (2009), Clause 13.2.

Door thresholds are to be level to provide seamless entry to the building. The maximum allowable construction tolerance is 3mm for compliance with AS1428.1 (2009), 5mm where bevelled edges are provided between surfaces – refer to Figure 6.

Door to have hardware within the accessible height range of 900-1100mm above the finished floor level (AS1428.1 (2009), Clause 13.5)

For glass doors, provide decals to assist persons with a vision impairment. Decals to be solid and have a minimum 30% luminance contrast to the background colour and be not less than 75mm high located within the height range of 900-1100mm above the finished floor level. Decals are to be solid pattern to AS1428.1 (2009) Clause 6.6.

## **TACTILE INDICATORS WHERE AN ACCESSWAY MEETS A ROADWAY**

BCA Clause 3.8 (a) (v) states that for a building that is required to be accessible, tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment that they are approaching – in the absence of a suitable barrier – an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building...if there is no kerb or kerb ramp at that point, except for areas exempted by D3.4.

Tactile indicators are to be detectable, durable, non-slip and have a minimum 30% luminance contrast to the background colour.

Tactile indicators are to be 600-800mm deep across the width of the path of travel.

## **DOORWAYS**

Doorways within the accessible path of travel are to have a minimum clear opening width of 850mm (AS1428.1 (2009), Clause 13.2). We recommend the use of a 920 leaf door as a minimum to achieve adequate clear width.

All doorways within the accessible path of travel to have complying circulation areas as illustrated in AS1428.1 (2009), Figure 31. Circulation areas are to have a maximum crossfall of 1:40.

Doorways to have minimum 30% luminance contrast as described in AS1428.1 (2009), Clause 13.1.

Doors to have hardware within the accessible height range of 900-1100mm above the finished floor level (AS1428.1 (2009), Clause 13.5) and allows for single handed operation.

## **TACTILE INDICATORS**

Installation of tactile indicators is to be in accordance with AS1428.4.1 (2009).

Tactile indicators are to be detectable, durable, non-slip and have a minimum 30% luminance contrast to the background colour.

Tactile indicators are to be 600-800mm deep across the width of the path of travel.





## **VISUAL INDICATION TO GLAZING**

Provide decals to assist persons with a vision impairment. Decals to be solid and have a minimum 30% luminance contrast to the background colour and be not less than 75mm high located within the height range of 900-1100mm above the finished floor level. Decals are to be solid pattern to AS1428.1 Clause 6.6.

## **SIGNAGE**

The BCA has requirements for Braille and tactile signage within Specification D3.6. This provides information for the provision of statutory signage

Braille and tactile signage is required to be provided throughout any building required to be made accessible in accordance with BCA specification D3.6 and AS1428.1 (2009) and must identify:

- Each sanitary facility
- Any space with a hearing augmentation system
- Accessible unisex facilities and indicate whether the facility is suitable for left or right handed use
- Ambulant accessible sanitary facilities on the door of the cubicle
- Where an entrance is not accessible, directional signage to identify nearest accessible entrance
- Where a bank of sanitary facilities is not provided with an accessible sanitary facility, directional signage to identify nearest accessible sanitary facility.
- Each door required by Part E4.5 to be provided with an exit sign and state "Exit" and "Level" followed by either the floor level number, the floor descriptor or combination of these.

In addition, AS1428.2 (1992) contains additional information as to the form of signage.

Signage should be easily comprehended by all building users. In this regard, the use of pictograms is highly recommended. The message that the sign conveys should be unambiguous.

Placement of signage should be considered at the following locations:

- Where it is clearly visible to people in both a standing and seated position.
- At changes in direction.
- At locations where directional decisions are made.
- As required to amenities and exits

## **PASSENGER LIFTS**

Every passenger lift in an accessible building must be suitable for use by people with a disability and offer compliance with AS1725.12. Typically, the following is required to be provided:

### **Lift dimensions**

- Lift floor dimensions of not less than 1100mm X 1400mm for lifts which travel not more than 12m.
- Lift floor dimensions of not less than 1400mm X 1600mm for lifts which travel more than 12m.
- Provision for a stretcher facility within at least one emergency lift required by E3.4, or where an emergency lift is not required, if passenger lifts are installed to serve any storey above an effective height of 12m, in at least one of those lifts to serve every floor served by lifts.

### **Lift Features**

- Handrail complying with the provisions for a mandatory handrail in AS1735.12.
- Minimum clear door opening complying with AS1735.12.
- Passenger protection system complying with AS1735.12.
- Lift landing doors at the upper landing.





- Lift car and landing control buttons complying with AS173.5.12.
- Lighting in accordance with AS1735.12.
- Emergency hands-free communication, including a button that alerts a call centre of a problem and a light to signal that the call has been received.

All passenger lifts serving more than 2 levels must possess:

- Automatic audible information within the lift car to identify the level each time the car stops.
- Audible and visual indications at each lift landing to indicate the arrival of the lift car.
- Audible information and audible indication must be provided in a range between 20-80dB(A) at a maximum frequency of 1500Hz.

## **STAIRS**

Stair construction is to comply with AS1428.1 (2009) Clause 11.1.

Stairs are to have closed or opaque risers. Open risers cause confusion for persons with a vision impairment and may trigger conditions such as epilepsy due to light penetrating through the open risers.

Where the stair intersects with an internal corridor, the stair shall be set back in accordance with AS1429.1 (2009) Figure 26C/D to allow adequate space for handrail extensions and tactile indicators.

Provide handrails, with extensions, to both sides of the stair (AS1428.1 (2009), Clause 11.2). Handrails are to have an external diameter between 30-50mm to assist persons with a manual disability such as arthritis. Handrails should be continuous around the landings where possible. Handrails are required on both sides of the stair to cater for left and right handed disabilities. A central handrail is also an acceptable solution where adequate width is available.

Stair nosings to have minimum 30% luminance contrast strip 50-75mm wide to the top of the stair tread to assist persons with a vision impairment. The strip can be set back 15mm from the edge of the riser.

Stair nosings shall not project beyond the face of the riser.

Provide tactile indicators at the top and bottom of the stair to comply with BCA Part D3.8 and AS1428.4.1 (2009).

Tactile indicators are to be detectable, durable, non-slip and have a minimum 30% luminance contrast to the background colour.

Tactile indicators at the top and bottom of the stair to be 600-800mm deep across the width of the stair set back 300mm from the edge of the stair.

## **FIRE ISOLATED STAIRS**

Stair nosings to have minimum 30% luminance contrast strip 50-75mm wide to the top of the stair tread to assist persons with a vision impairment. The strip can be set back 15mm from the edge of the riser. Stair nosings shall not project beyond the face of the riser.

## **UNISEX ACCESSIBLE SANITARY FACILITIES**

Set-out of fixtures and fittings within the accessible sanitary facilities to offer compliance with AS 1428.1 (2009) Clause 15 as follows.

Crucial dimensions for the toilet are 450mm from centreline of pan to side wall, 800mm from front of pan to rear wall and a seat height of 470mm.

A minimum clear dimension of 1400mm is required from the toilet pan to any other fixture (see AS 1428.1-2009, figure 43).



For the basin, a minimum dimension of 425mm is required from the centreline of the basin to the side wall and height of basin to be between 800 and 830mm.

Grabrails are to be provided at the side and rear of the toilet in compliance with AS1428.1-2009 at a height of 800mm.

Taps are to have lever handles, sensor plates or similar controls. For lever taps a minimum of 50mm clearance to be provided to adjacent surfaces.

Toilet seat shall be of the full round type, be securely fixed in position when in use and have fixings that create lateral stability. They should be load rated to 150kg, have a minimum 30% luminance contrast to the background colour (e.g. pan, wall or floor) and remain in the upright position when fully raised.

Provide a backrest to accessible toilets to comply with AS1428.1, Clause 15.2.4.

Accessible toilet to be identified using the International Symbol for Access. Pictograms / lettering to have a minimum 30% luminance contrast to the background colour. Signage is to comply with AS1428.1, Clause 8 and include information in tactile and Braille formats (as required by the BCA).

Doorways are to have a minimum clear opening width of 850mm to comply AS1428.1 (2009), Clause 13.2 as part of the accessible path of travel. Adequate circulation area at the latch side of the doorway is required to allow independent access to the facility – for details refer to AS1428.1, Figure 31.

Door hardware are to be located within the accessible height range of 900-1100mm above the finished floor level. The use of lever handles is encouraged to assist persons with a manual disability such as arthritis.

Controls within the accessible toilet facilities, such as light switches, are to be in the accessible height range of 900-1100mm above the finished floor level to comply with AS1428.1-2009, Clause 14. Controls should be located not less than 500mm to a corner.

## **UNISEX ACCESSIBLE SHOWERS**

Showers are to comply with AS 1428.1, Clause 15.5 and include accessible features such as grabrails, adjustable height shower rose and fixtures within an accessible height range. The minimum dimensions of an accessible shower are to be 1160 x 1000mm. A folding seat, at a height of 470mm is to be provided. All taps to be located within the height range of 900-1100mm above the finished floor level.

Circulation space in front of the shower is to be provided as illustrated in AS1428.1-2009, Figure 47.

## **PEOPLE WITH AMBULANT DISABILITIES CUBICLES (PAD)**

PAD cubicles within male and female toilets to be in compliance with AS1428.1-2009, Clause 16.

Width of PAD cubicles is to be 900-920mm. (Note finished clear dimensions)

Provide grabrails to PAD cubicles to comply with AS1428.1-2009, Clause 17 and Figure 53A.

Doors are to have a minimum opening width of 700mm and comply with AS1428.1-2009, Figure 53B.

Provide signage to the PAD cubicles to comply with AS1428.1-2009, Clause 16.4.

Provide 900x900 circulation space in front of pan and each side of doors on path to the toilet. Door are not to swing into circulation spaces.



## **APPENDIX C**

### **PREMISES STANDARDS – 2010, REQUIREMENTS**



### **Access to Premises Standards – General**

In contrast to building regulations, the DDA is not prescriptive. The introduction of the Premises Standards in 2010, within the DDA and corresponding changes to the BCA in 2011, was a significant step towards achieving equal access to premises and is crucial to justice and social inclusion for people with disabilities.

It is noted that the Premises Standards are limited in scope, covering aspects of building compliance applicable under the BCA. It is acknowledged that the Premises Standards could address a broader range of accessibility issues including considerations to accessibility of parkland, playgrounds, transport vehicles, interior fit-out of buildings, and fixtures and fittings. As such, there are features which fall beyond the scope of the Standards which may be subject to the general complaints provisions of the DDA.

### **Access to Premises Standards – New Work**

Where new work that requires building or construction approval is undertaken on an existing building, such as an extension or refurbishment, there is a requirement to ensure the new or modified part of the building complies with the Premises Standards.